

OFFICE USE

FILE No. CSC TP- 200

PERMIT No. DATE

- Conditions:
- The permission accorded does not confer any ownership rights. At a later stage if it is found that the development and construction are not in accordance with the approved plan, the same shall be revised to 40% of B.M.C. Act 1975.
 - If construction is not commenced within one year, building application shall be submitted afresh after payment of fee.
 - Sanctioned Plan shall be followed strictly while making the construction.
 - Sanctioned Plan copy as attached by the GEMC shall be displayed at the construction site for public view.
 - Commencement Notice shall be submitted by the applicant before commencement of the building.
 - Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U.S.47 of B.M.C. Act.
 - Occupancy Certificate is compulsory before occupying any building.
 - Public Amenities such as Water Supply, Electrical Connections will be provided only on production of occupancy certificate.
 - Fire Approval shall be obtained separately for any modification in the construction.
 - 15 C.R.S in C.M IN RCC 1:1½: 2
 - 16 Plastering shall be done along the periphery and also in front of the premises.
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 - 20 The permission accorded does not confer any ownership rights.
 - 21 The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.
 - 22 A safe distance of minimum 1.00m. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.00m. Low Tension electrical line shall be maintained.
 - 23 The front compound wall for the site abutting 10 mt. road width shall be allowed and only from grill or Low Tension electrical line shall be allowed.
 - 24 If property is not maintained (Additional property tax shall be imposed as penalty every year till the construction is finished).
 - 25 All Public and Semi Public buildings above 100sq. mt. shall be constructed to provide facilities to physically handicapped persons as per provision of B.M.C. of 2001.
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PLAN SHOWING THE PROPOSED RESIDENCE IN PLOT No. -----, SITUATED AT ---- VIKARABAD BELONGING TO Sri. ----

SCALE : 1:100, 1:200

SPECIFICATIONS

FOUNDATION & COLUMNS	C.R.S IN C.M
BEAMS & SLABS	IN RCC 1: 1½: 2
SUPER STRUCTURE	IN CEMENT MORTAR
PLASTERING	MARBLE/TRIFRID TILES
FLOORING	TEAK WOOD / ALUMINIUM
DOORS&WINDOWS	AS PER BIS STANDARDS
SANITARY & ELECTRICAL	
ARRANGEMENTS	

OPENINGS

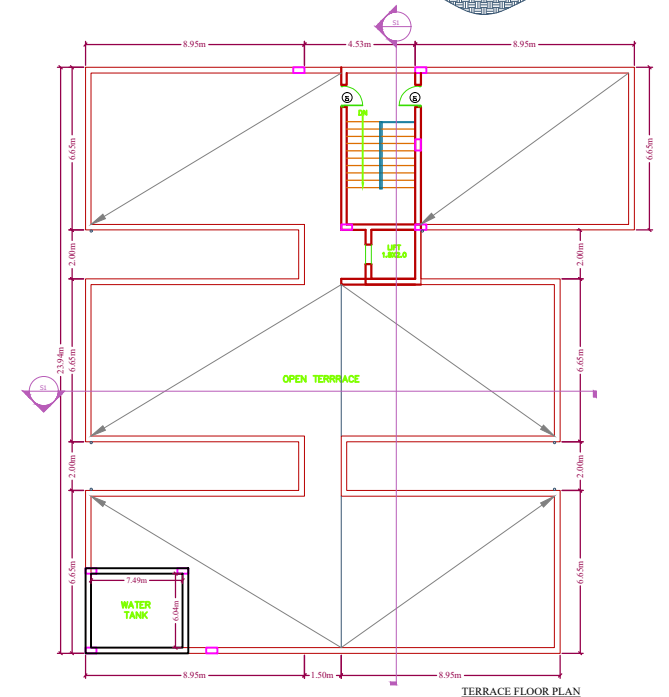
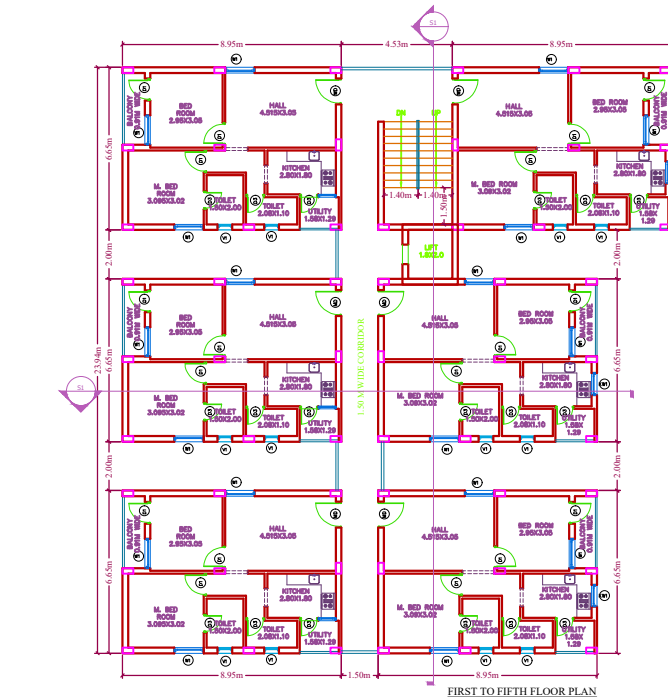
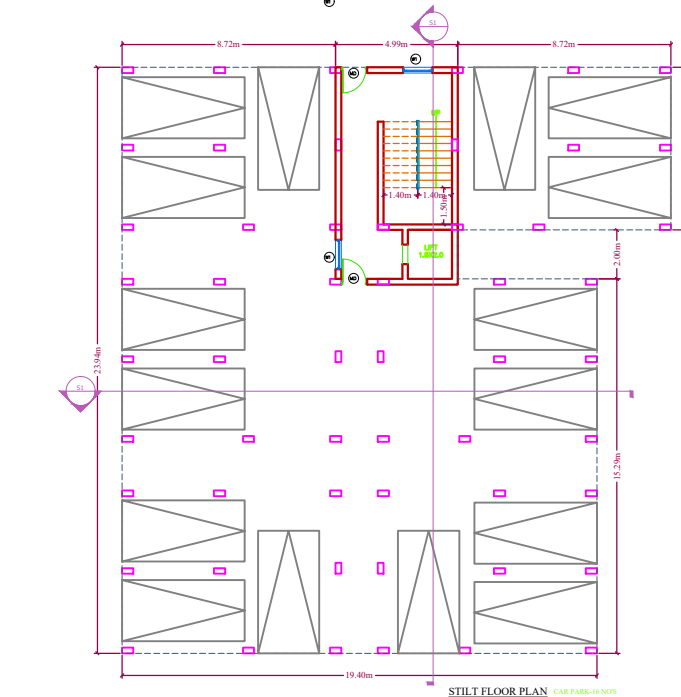
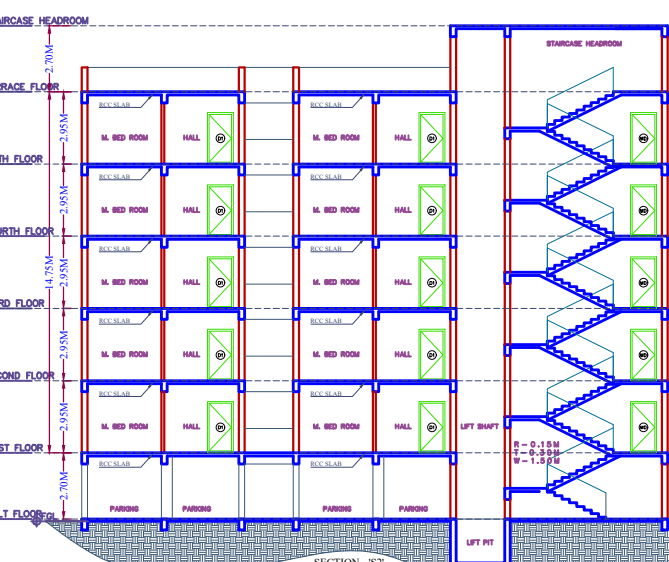
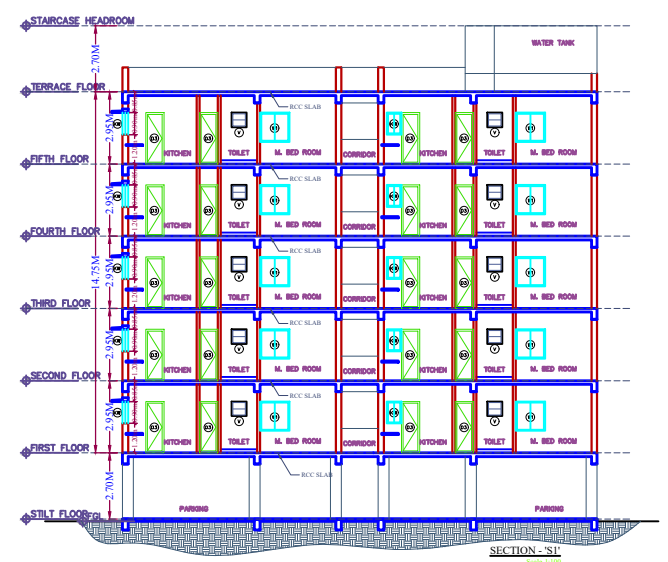
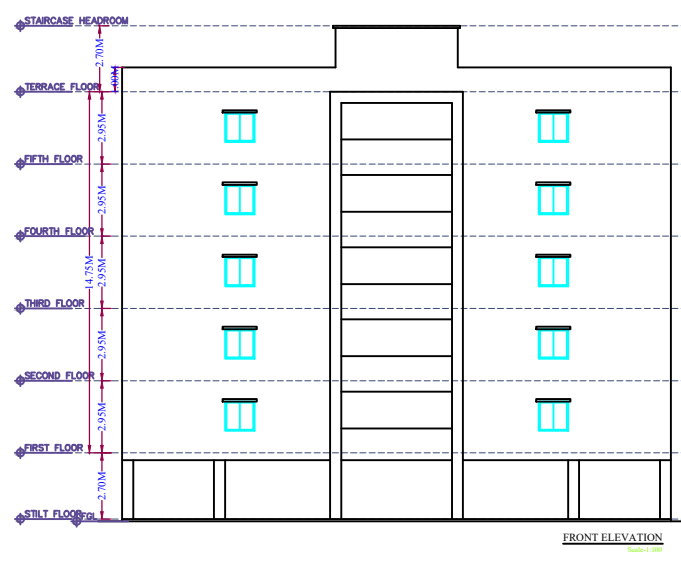
DOORS :	WINDOWS
D : 1.05 x 2.10	W1 - 1.20 x 1.20
D1 : 0.90 x 2.10	W2 - 0.90 x 1.20
D2 : 0.75 x 2.10	KW - 0.90 x 0.90
	VENTILATORS:
	V1 - 0.60 x 0.60

AREA STATEMENT :

LAND USE STATEMENT			
FLOOR	AREA	PROVIDED	REQUIRED
	IN SQM	%	%
SITE AREA	942.97	-	-
TOTAL AREA	91.26	9.68	9.68
15M WIDE GREEN STRIP AREA	37.41	0.00	0.00
TOTAL BUILT UP AREA	2184.10	2.31	2.31
PARKING	1.00	0.00	0.00
STILT FLOOR	475.14	22.49	22.00

BUILT UP AREA

FLOOR	BUILT UP AREA
	IN SQM
FIRST FLOOR	420.82
SECOND FLOOR	420.82
THIRD FLOOR	420.82
FOURTH FLOOR	420.82
FIFTH FLOOR	420.82
TOTAL AREA	2104.10



OFFICE USE

- 1) Provide Fire resistant saving door for the collapsible lift in all floors.
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REFERENCE

EXISTING	(Pink hatched)
PROPOSED	(Blue hatched)
MORTGAGE	(Green hatched)
TO BE DISMANTLED	(Yellow hatched)

Owner's Signature:

Builder's Signature: (Regn.No)

Structural Engineer's Signature: (Regn.No)

Architect's Signature: (Regn.No)