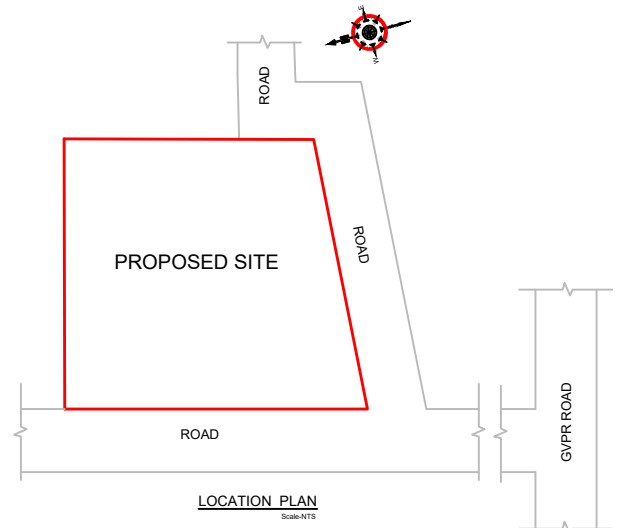
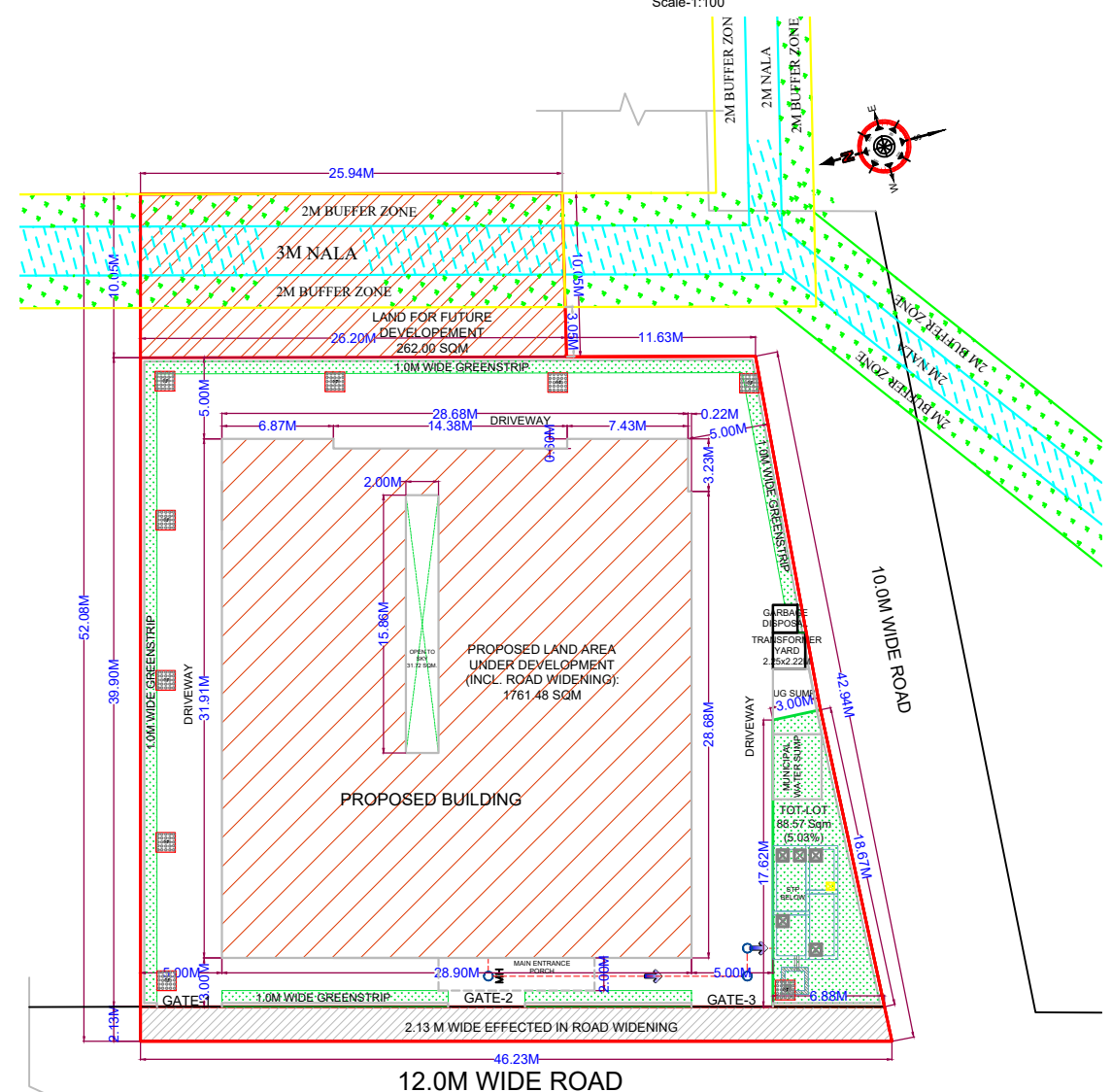




**FRONT ELEVATION**  
Scale-1:100



**LOCATION PLAN**  
Scale-NTS



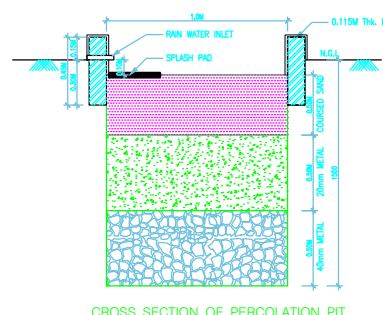
**12.0M WIDE ROAD**

LAND USE STATEMENT	
DESCRIPTION	AREA IN SQM
TOTAL LAND AREA	2023.43
LAND LEFT FOR FUTURE DEVELOPMENT	262.00
LAND AREA FOR PRESENT PROPOSED CONSTRUCTION	1761.43
AREA EFFECTED UNDER ROAD WIDENING (2.13M WIDE)	97.98
NET LAND AREA FOR PRESENT PROPOSED CONSTRUCTION	1663.45

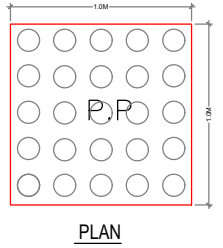
BUILT-UP AREA STATEMENT	
FLOOR	AREA IN SQM
FIRST	881.14
SECOND	881.14
THIRD	881.14
FOURTH	881.14
TOTAL AREA	3524.56
BUILDING HEIGHT = 14.90M	

OPEN SPACE STATEMENT			
DESCRIPTION	AREA IN SQM	PROVIDED AREA	REQUIRED AREA
LAND AREA FOR PRESENT PROPOSED CONSTRUCTION	1761.43		
TOTAL	88.97	5.03	88.07

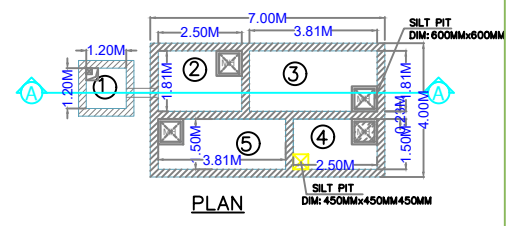
PARKING STATEMENT			
DESCRIPTION	AREA IN SQM	AREA IN SQM	%
TOTAL BUILT-UP AREA	3524.56		
PARKING AT SITE FLOOR	912.86	25.90	7.95.40
TOTAL CAR PARKS	: 21 No's		



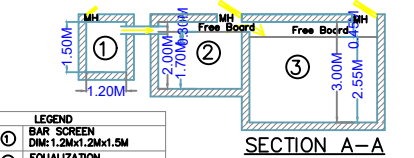
**CROSS SECTION OF PERCOLATION PIT.**



**PLAN**



**PLAN**



**SECTION A-A**

- LEGEND**
- ① BAR SCREEN DIM: 1.2Mx1.2Mx1.5M
  - ② EQUALIZATION TANK DIM: 3.0Mx1.8Mx2.0M
  - ③ TANK (AERATOR) DIM: 3.0Mx1.5Mx3.0M
  - ④ TREATED WATER TANK DIM: 4.31Mx1.5Mx3.0M
  - MH MAN HOLE

**STP DETAILS**  
SCALE: NTS

**OFFICE USE**

FILE No. **CSC TP- 200**

PERMIT No. \_\_\_\_\_ DATE \_\_\_\_\_

- Conditions
- 1 The permission accorded does not confer any ownership rights. At a later stage if it is found that the documents are false and fabricated the permission will be revoked U/s 46B of HMC Act 1956.
  - 2 If construction is not commenced within the stipulated time the permission shall be deemed to have lapsed.
  - 3 Sanctioned Plan copy shall be submitted along with the construction.
  - 4 Sanctioned Plan copy as approved by the CHMC shall be displayed at the construction site for public view.
  - 5 Commencement notice shall be submitted by the applicant before commencement of the building U/s 46B of HMC Act.
  - 6 Completion notice shall be submitted after completion of the building & obtain occupancy certificate U/s 46B of HMC Act.
  - 7 Occupancy Certificate is compulsory before occupying any building.
  - 8 Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate.
  - 9 Approval should be obtained separately for any modification in the construction.
  - 10 Tax Payment shall be done along the periphery and also in front of the premises.
  - 11 The site shall be fenced and shall be maintained as per the terms of the sanctioning order.
  - 12 Rain Water Harvesting Structure (positioning pit) shall be constructed.
  - 13 Space for Transformer shall be provided in the plan keeping the safety of the residents in view.
  - 14 Change House shall be made within the premises.
  - 15 Color and silt approved for parking in the plan should be used exclusively for parking of vehicles without partition walls & other obstructions and the same should not be connected or required for any other purpose at any time in future as per underwriting submitted.
  - 16 No. of cars as sanctioned shall not be exceeded without prior approval of CHMC at any time in future.
  - 17 This sanction is accorded on understanding of Road affected portion of the site to CHMC free of cost with out charging any compensation at any time as per the underwriting submitted.
  - 18 Staking of Building Materials on footpath and road single causing obstruction to free movement of public & vehicles shall not be done, Safety when permission is liable to be suspended.
  - 19 The permission accorded does not for the application or provisions of Urban Land Ceiling & Regulations Act 1976.
  - 20 The Developer / Builder / Owner to provide service road wherever required with specified standards at his own cost.
  - 21 A safe distance of minimum 3.0m. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 5.0m. for Low Tension electrical line shall be maintained.
  - 22 No front compound wall for the site abutting 18 mt. road width shall be allowed and only front grill or Low height gateway hedge shall be allowed.
  - 23 If gateway is not maintained / Substantial property tax shall be imposed as penalty every year till the condition is fulfilled.
  - 24 All Public and Semi Public buildings above 300sq.mts. shall be constructed to provide facilities to physically handicapped persons as per provision of HMC Act 2005.
  - 25 The mortgaged built-up area shall be allowed for registration only after Occupancy Certificate is produced.
  - 26 The Registrar authority shall register only the permitted built-up area as per sanctioned plan.
  - 27 The Sanctioning Authority, Plumbing, Fire Safety requirements, etc., shall be submitted under the supervision of Qualified Technical Personnel.
  - 28 Architect / Structural Engineer if changed, the consent of the previous Architect / Structural Engineer is required for the reference to the CHMC.
  - 29 Construction shall be covered under the contractor's risk insurance till the issue of occupancy certificate (wherever applicable).
  - 30 As per the underwriting enclosed in terms of G.O. No. 541/M.A. dt. 17-11-2009 (wherever applicable).
  - 31 The construction shall be done in the normal way in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for prosecution under the law.
  - 32 The Owner, Builder/Developer, Architect, Structural Engineer and Site Engineer are jointly & severally responsible to carry out and complete the construction in accordance with sanctioned plan.
  - 33 The Owner, Builder/Developer, Architect, Structural Engineer and Site Engineer are jointly & severally responsible to ensure the structural stability during the building construction and should strictly adhere to all the conditions in the G.O.
  - 34 The Owner/Builder/Developer should not deliver the possession of any part of built-up area of the building by way of Sale / Lease unless and until Occupancy Certificate is obtained from CHMC after providing all the required service connections to each portion of the building and duly submitting the following:
    - (a) Building Completion Certificate issued by the Architect duly certifying that the building is structurally safe and the construction is in accordance with the sanctioned design.
    - (b) Structural Stability Certificate issued by the Structural Engineer duly certifying that the building is structurally safe and the construction is in accordance with the sanctioned design.
    - (c) Fire Safety Certificate issued by the Fire Safety Officer.
    - (d) Fire Safety Certificate issued by the Fire Safety Officer.
    - (e) Fire Safety Certificate issued by the Fire Safety Officer.
    - (f) Fire Safety Certificate issued by the Fire Safety Officer.
    - (g) Fire Safety Certificate issued by the Fire Safety Officer.
    - (h) Fire Safety Certificate issued by the Fire Safety Officer.
    - (i) Fire Safety Certificate issued by the Fire Safety Officer.
    - (j) Fire Safety Certificate issued by the Fire Safety Officer.
    - (k) Fire Safety Certificate issued by the Fire Safety Officer.
    - (l) Fire Safety Certificate issued by the Fire Safety Officer.
    - (m) Fire Safety Certificate issued by the Fire Safety Officer.
    - (n) Fire Safety Certificate issued by the Fire Safety Officer.
    - (o) Fire Safety Certificate issued by the Fire Safety Officer.
    - (p) Fire Safety Certificate issued by the Fire Safety Officer.
    - (q) Fire Safety Certificate issued by the Fire Safety Officer.
    - (r) Fire Safety Certificate issued by the Fire Safety Officer.
    - (s) Fire Safety Certificate issued by the Fire Safety Officer.
    - (t) Fire Safety Certificate issued by the Fire Safety Officer.
    - (u) Fire Safety Certificate issued by the Fire Safety Officer.
    - (v) Fire Safety Certificate issued by the Fire Safety Officer.
    - (w) Fire Safety Certificate issued by the Fire Safety Officer.
    - (x) Fire Safety Certificate issued by the Fire Safety Officer.
    - (y) Fire Safety Certificate issued by the Fire Safety Officer.
    - (z) Fire Safety Certificate issued by the Fire Safety Officer.
  - 35 To provide one entry and one exit to the premises with a minimum width of 4.5m. and height clearance of 5m.
  - 36 Provide Fire resistant saving door for the accessible lifts in all floors.
  - 37 Provide Generator, as alternate source of electric supply.
  - 38 Emergency Lighting in the Corridor / Common passages and stair case.
  - 39 The numbers water type fire extinguishers for every 600 Sq.mts. of floor area with minimum of four number fire extinguishers per floor and 800 Sq.mts. for every 1200 Sq.mts. of floor area with minimum of four number fire extinguishers per floor.
  - 40 Manually operated and alarm system in the entire building.
  - 41 Separate Underground water storage tank capacity of 25,000 lit. Capacity.
  - 42 Separate Tank of 25,000 lit. capacity for Residential buildings.
  - 43 Fire Alarm, Alarm Control.
  - 44 Automatic Sprinkler system is to be provided if the basement area exceed 2000sq.mts.
  - 45 Electrical Wiring and installation shall be certified by the electrical engineers to ensure electrical fire safety.
  - 46 Transformers shall be protected with 4 hours rating fire resistant construction.
  - 47 To create a joint open space with the neighboring building premises for maneuverability of the vehicles. No parking or any constructions shall be made in setbacks area.

**PROPOSED NURSING HOME CUM RESEARCH FACILITY SITUATED AT SY. NO. VILLAGE**

SCALE - 1:100, 1:200



**SPECIFICATIONS**

FOUNDATION & COLUMNS	C.R.S IN C/M IN RCC 1: 1½: 2
BEAMS/SLABS	BRICK IN CEMENT
SUPER STRUCTURE	IN CEMENT MORTAR
PLASTERING	MARBLE/VTIFIED TILES
FLOORING	TEAK WOOD / ALUMINIUM
DOORS/WINDOWS	SANITARY & ELECTRICAL AS PER STANDARDS
ARRANGEMENTS	

DOORS:		WINDOWS:	
D1:	1.80 x 2.10	W1:	1.80 x 1.50
D2:	1.25 x 2.10		
D3:	0.90 x 2.10		
D4:	0.75 x 2.10		
D5:	1.50 x 2.10		

**DETAILS OF AREA STATEMENT :**

EXISTING	PROPOSED	TO BE DISMANTLED

**DRAWING TITLE :**  
**SITE PLAN, TERRACE PLAN**  
**LOCATION PLAN & RWHP & STP DETAILS**

Owner's Signature: \_\_\_\_\_

Builder's Signature: (Regn.No) \_\_\_\_\_

Structural Engineer's Signature: (Regn.No) \_\_\_\_\_

Architect's Signature: (Regn.No) \_\_\_\_\_