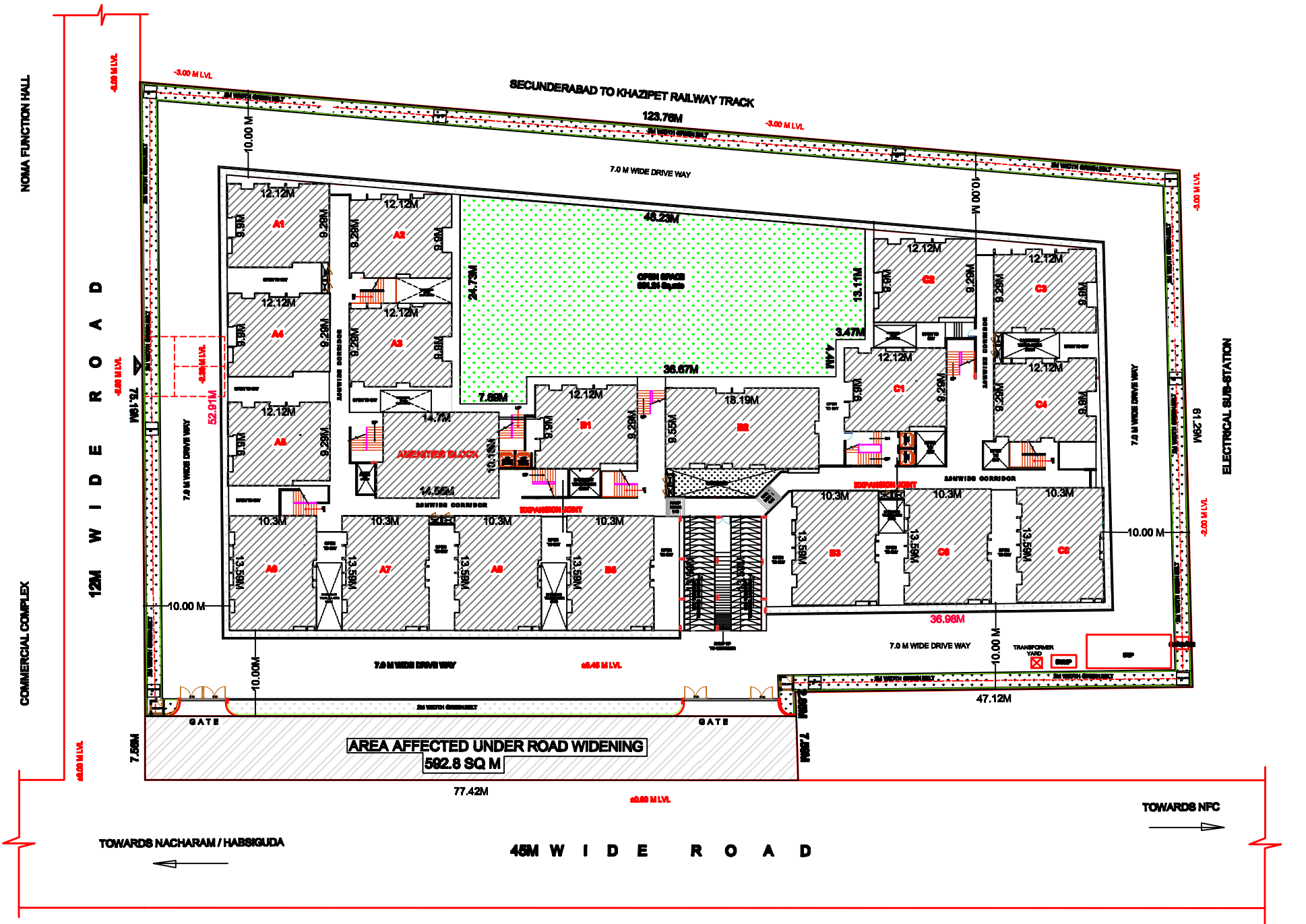
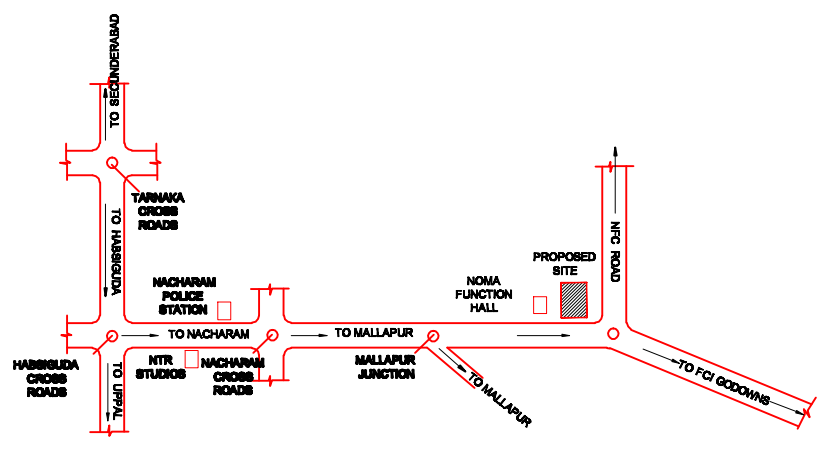
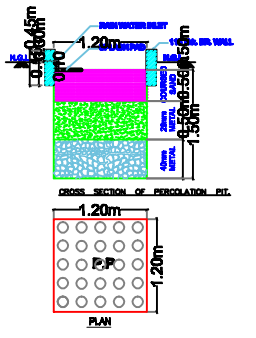


LEGEND

1. BAR SCREEN
DIM: 1.0M x 1.0M x 1.5M
2. EQUALIZATION TANK
DIM: 3.0M x 3.0M x 3.0M
3. STP TANK (AERATOR)
DIM: 7.25M x 3.0M x 3.0M
4. CLARIFIED WATER TANK
DIM: 3.0M x 1.5M x 3.0M
5. TREATED WATER TANK
DIM: 3.0M x 1.5M x 3.0M
6. MAN HOLE



office use

FILE NO. CSC TP- 200

PERMIT NO. DATE:

Conditions:

1. The permission accorded does not confer any ownership rights. At a later stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act-1976.
2. If construction is not commenced within one year, building application shall be submitted after duly paying required construction.
3. Sanctioned plan shall be followed strictly while making the construction.
4. Sanctioned plan copy as attested by the G.H.M.C shall be displayed at the construction site for public view.
5. Commencement Notice shall be submitted by the applicant before commencement of the building U/s 440 of HMC Act.
6. Completion Notice shall be submitted after completion of the building to obtain occupancy certificate U/s 455 of HMC Act.
7. Occupancy certificate is compulsory before occupying any building.
8. Public Amenities such as water supply, electricity connections will be provided only on production of Occupancy Certificate.
9. Proper fire fighting arrangements shall be obtained separately for any modification in the construction.
10. Tree Plantation shall be done along the periphery and also in front of the premises.
11. Gate-act shall be fenced and shall be maintained as greenery at owners cost before issue of occupancy.
12. Rain Water Harvesting structure (percolation pit) shall be constructed.
13. Space for transformer shall be provided in the site keeping the safety of the residents in view.
14. Garbage House shall be made within the premises.
15. Cellar and stilt approved for parking in the plan should be used exclusively for parking of vehicles with out partition walls & rolling shutters and the same should not be converted or misused for any other purpose at any time in future.
16. Height of the building shall not be increased without prior approval of G.H.M.C at any time in future.
17. This sanction is accorded on surrendering of Road affected portion of the site to G.H.M.C free of cost with out claiming any compensation at any time as per the undertaking.
18. Greenery on periphery of the site shall be maintained as per rules.
19. Stacking of building materials on footpath and road margin causing obstruction to free movement of public & vehicles shall not be done, falling which permission is liable to be cancelled.
20. The permission accorded does not bar the application or provisions of Urban Land ceiling Regulations Act, 1976.
21. The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.
22. A safe distance of minimum 3.0 mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5 mts for Low Tension electrical line shall be maintained.
23. Compound wall for the site abutting 18m. road width shall be allowed and only iron grill or Low height greenery hedge shall be allowed.
24. If greenery is not maintained 10% additional property tax shall be imposed as penalty every year till the condition is fulfilled.
25. All Public and Semi Public buildings above 300 sq.mts. shall be constructed to provide facilities to physically handicapped persons as per provisions of NBC of 2005.
26. The mortgaged built up area shall be allowed for registration only after Occupancy Certificate is produced or
27. The Registration authority shall register only the permitted built up area as per sanctioned plan.
28. The Financial Agencies and Institutions shall extend loan facilities only to the permitted built up area as per sanctioned plan.
29. The services like Sanitation, Plumbing, Fire safety requirements, lifts, electrical installations etc. shall be executed under the supervision of Qualified Technical Architect/Structural Engineer if changed, the consent of the Previous Architect/Structural Engineer is required and to be intimated to the G.H.M.C.

The construction shall be done by owner, only in accordance with sanctioned plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action. The Owner, Builder, Developer, Architect, Structural Engineer and site Engineer are jointly & severally responsible to carry out and complete the construction strictly in accordance with sanctioned plan.

The Owner, Builder, Developer, Architect, Structural Engineer and site Engineer are jointly & severally held responsible for the structural stability during the building construction and should strictly adhere to all the conditions in the G.O.

The Owner / Builder, Developer, should not deliver the possession of any part of built up area of the building by way of sale/lease unless and until Occupancy Certificate is obtained from G.H.M.C after providing all the regular service connections to each portion of the building any duly sanctioned plan.

The Occupancy Certificate issued by the Architect duly certifying that the building is completed as per the sanctioned plan.

The Occupancy Certificate issued by the Structural Engineer duly certifying that the building is structurally safe and the construction is in accordance with the specified sanctioned plan.

The site registers containing inspection reports of site Engineer, Structural Engineer and Architect.

Insurance Policy for the completed building for a minimum period of three years.

Structural safety and Fire safety Requirements shall be the responsibility of the Owner, Builder, Developer, Architect and Structural Engineer to provide all necessary Fire Fighting Installations as stipulated in National Building Code of India, 2005 like:

- To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.
- Provide Fire resistant swing door for the collapsible lifts in the building.
- Generator, as alternate source of electric supply.
- Emergency Lighting in the Corridor/common passages and lift shafts.
- Provide water type fire extinguishers for every 600 sq.mts. of floor area with minimum of four numbers fire extinguishers per floor and 5K DCP extinguishers minimum 2 no. each at Generator and Transformer area shall be provided.

- i) Separate Underground static water storage tank capacity of 25,000 ltrs. capacity.
- ii) Separate Terrace Tank of 25,000 ltrs capacity for Residential building.
- iii) Down Corner
- iv) Automatic Sprinkler system is to be provided if the basement area exceeds 200 sq.mts.
- v) Electrical Wiring and installation shall be certified by the electrical engineers to ensure electrical fire safety.
- vi) Transformers shall be protected with 4 hours rating fire resist constructions.
- vii) To create a joint open spaces with the neighbours building/permits for maneuverability of fire vehicles. No parking or any constructions shall be made in setbacks.

office use

PLAN SHOWING THE PROPOSED GROUP HOUSING SCHEME IN SY.NO. 82/1 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDICAL DISTRICT.

BELONGING TO:
SRI HANMANTH MENTA & SIBUL MENTA
S/O. LATE SRI. VASANTH MENTA

SPECIFICATIONS

FOUNDATION, FOOTINGS, - CRS IN CM RCC M20

COLUMNS & BEAMS - RCC M20 GRADE

ROOF SLAB - BRICK WALL IN CM 1:6

SUPER STRUCTURE - CERAMIC TILES

FLOORING - PLASTERING WITH CM

FINISHING - TEAK WOOD

DOORS - TEAK WOOD

WINDOWS - TEAK WOOD

REFERENCE NORTH

PROPOSED

EXISTING

DISMANTLING

MORTGAGED

AREA STATEMENT

LAND AREA

TOTAL LAND AREA : 1.027500 OR 1027.50 Sq.mts

AREA INVOLVED UNDER ROAD WIDENING: 592.80 Sq.mts

NET LAND AREA FOR PROPOSED CONSTRUCTION: 436.70 Sq.mts

AREA STATEMENT SHOWING TOTAL AREA OF PLANS FOR OTHERS

BLOCK	FLOOR	NO. OF PLACES	AREA OF EACH PLACE IN Sq.mts	TOTAL AREA IN Sq.mts
BLOCK A1	FLOOR 1	4	45	180.00
BLOCK A2	FLOOR 1	4	45	180.00
BLOCK A3	FLOOR 1	4	45	180.00
BLOCK A4	FLOOR 1	4	45	180.00
TOTAL		16	45	720.00

OPEN SPACE AREA REQUIREMENT

OPEN SPACE AREA REQUIRED	AREA IN Sq.mts
OPEN SPACE AREA REQUIRED	592.80 Sq.mts
PERCENTAGE PROVIDED	100%

PARKING AREA ON BUA @ 25% 257.175 Sq.mts

PARKING AREA ON AMBULANCE AREA @ 4% 17.510 Sq.mts

TOTAL PARKING AREA PROPOSED 274.685 Sq.mts

REQUIREMENT PARKING AREA 257.175 Sq.mts

REQUIREMENT PARKING AREA 257.175 Sq.mts

TOTAL PARKING AREA PROVIDED 274.685 Sq.mts

PERCENTAGE REQUIRED 100%

PERCENTAGE PROVIDED 100%

NO. OF GAR PARKING PROVIDED 287 Nos

AMBULANCE AREA STATEMENT

TOTAL BUILT-UP AREA	AREA IN Sq.mts
TOTAL BUILT-UP AREA	1423.17 Sq.mts
PERCENTAGE REQUIRED	3.0%
PERCENTAGE PROVIDED	0.3%

Owners Signature :

Builder's Signature :

Structural Engineer's Signature :

Architect Signature:

SCALE:- 1:100 SHEET NO: 1 OF 4