




**GREATER HYDERABAD MUNICIPAL CORPORATION
BUILDER / REAL ESTATE DEVELOPER / FIRM LICENCE**

Reference No.	4004/TPS/HO/GHMC/06-13	
License No.	BL/1171/2008	
Issued on Renewed on	28/10/2013	
Valid up to	16/10/2018	
Name of the Builder / Real Estate Developer/ Firm	M/s. MODI PROPERTIES AND INVESTMENTS PVT. LTD., Rep. by Sri Soham Modi	
Father's Name	Satish Modi	
Applicant's Address		
Door No. / Flat No.	# 5-4-187/3 & 4, II Floor, Soham Mansion,	
Road / Street	-	
Locality / Mandal	M.G Road,	
City	Secunderabad.	
District	Hyderabad.	
PIN	500 003	
Phone No.	Office	040-66335551
	Mobile	-



The Licensee shall comply and adhere to the conditions, duties and responsibilities as prescribed in the "Regulations for Registration of Licenced Builder / Real Estate Developer / Firm of Greater Hyderabad Municipal Corporation, 2007".

ATTESTED
L. R. MACHARYULU
LL.B.,
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Dharmaguda, HYDERABAD.

[Signature]
Signature of Licensing Authority
Addl. Chief City Planner
Greater Hyderabad Municipal Corporation
Hyderabad.



Greater Hyderabad Municipal Corporation *[Signature]* 28/11/2013

Applicant Signature:
[Signature]

For SUMMIT BUILDERS
Partner

Regulations for Registration of Licensed Builder / Real Estate Developer/ Firm

1. Conditions for issuing Licence

- 1.1 The Authority has the right to cancel the licence for contravention of any of the provisions of the Act, Rules or Bye-laws framed there under or for contravention of any of the conditions of the licence or for failure in discharging the duties and responsibilities as prescribed in "Regulations for registration of Licenced Builder / Real Estate Developer / Firm of Greater Hyderabad Municipal Corporation, 2007".
- 1.2 In case the license is cancelled, he is not eligible for obtaining a fresh licence and for practicing as a Builder / Developer / Firm for a period of three (3) years from the date of cancellation.
- 1.3 If for any reason the licence is cancelled, the licensed Builder / Real Estate Developer / Firm shall return the licence to the Authority within 24 hours of such cancellation.
- 1.4 Every application for the renewal of licence, shall be submitted to the GHMC together with a renewal fee as prescribed from time to the time and shall be accompanied by the present licence in respect of which the renewal is required.

2. Duties and Responsibilities of Builder / Real Estate Developer / Firm :

- 2.1 It shall be incumbent on the Builder / Real Estate Developer / Firm to cooperate with and assist GHMC in carrying out and enforcing strictly the provisions of Master Plan / Zonal Development Plan, Zoning Regulations and Development Control Rules of GHMC and other rules made under the provisions of relevant Acts from time to time.
- 2.2 Builder / Real Estate Developer / Firm is entitled to execute the types of projects as prescribed, if any and submit the Building Applications to GHMC for obtaining building permissions.
- 2.3 A licenced Builder / Real Estate Developer / Firm shall not associate himself with any construction not authorized or licensed by the GHMC where such authorization or licence is required under the provisions of the Act or Rules or any Bye-laws framed there under.
- 2.4 The licensed Builder / Real Estate Developer / Firm shall not do anything prejudicial to public interest and the objectives for which he is licensed or be a party to any evasion or attempted evasion of the provisions of the relevant statute and the Rules, Byelaws and Regulations made there under GHMC and for the time being in force.
- 2.5 Copy of the Certificate of licence shall be submitted along with Building application. The licence number and the period of validity of the licence shall be incorporated on the building plans.
- 2.6 Every licensed Builder / Real Estate Developer / Firm shall in submitting the plans show correct details and dimensions, levels and give correct information in respect of such plans or building or work for which he proposed execution.
- 2.7 It shall be incumbent on the licensed Builder / Real Estate Developer / Firm to counter sign on Notarized Affidavit of the Owner of the property / GPA holder and submit along with the Building Application for handing over the prescribed floor area of the proposed construction to the Sanctioning Authority as prescribed in the Rules from time to time.
- 2.8 The sale or disposal of such built up area under the said Notarized Affidavit, lease and registration of such buildings shall be allowed by the Registration Authority only after an Occupancy Certificate is obtained from the GHMC.
- 2.9 In case of any violation of building constructions, it shall be removed by the Owner / Builder / Real Estate Developer / Firm within the stipulated time on receipt of the statutory Notice of GHMC.
- 2.10 Upon failure to comply with the direction of the GHMC to remove violations, the violated portion of the building will be removed summarily and the handed over portion of the building will be disposed off in public auction by GHMC and further action on licensed Builder / Real Estate Developer / Firm shall be initiated, which includes cancellation of licence and debarring from the profession for a period of three (3) years
- 2.11 It is a prerequisite that every Builder / Real Estate Developer / Firm is required to submit copy the agreement executed with Consulting Architect / Structural Engineer for execution of the project along with the building application wherein a condition of the agreement shall be incorporated that the consultants will offer their services to builder till completion of work and obtaining of Occupancy Certificate. In no case the construction should take place without the supervision of the Licenced Technical Personnel.

COMMISSIONER
Greater Hyderabad Municipal Corporation



తెలంగాణ తేలంగానా TELANGANA

S.No. 16246 Date: 05-07-2017

Sold to: Ramesh

S/o. W/o. D/o. late Narsing Rao

For Whom: Summit Builders.

[Signature]

10AA 515823

K.SATISH KUMAR
LICENSED STAMP VENDOR
LIC No.16-05-059/2012,
R.No.16-05-029/2015
Plot No.227, Opp.Back Gate
of City Civil Court,
West Marredpally, Sec'bad.
Mobile: 9849355156

(AFFIDAVIT – PERIPHERAL AREA)

I / we SRI SOHAM MODI S/o. late SRI SATISH MODI

Age 47 Years, Occupation BUSINESS

R/o P.No: 280, ROAD NO: 25, JUBILEE HILLS, HYDERABAD-34.

do hereby solemnly affirm and state on oath as follows:

1. I / We hereby affirm / declared that I / We are the Owner / authorised persons of the property / site to be built up / developed.

2. I / We hereby affirm / declared that the site / plot / property boundaries and dimensions mentioned in the site plan / building drawing are correct and true.

3. I / We have not availed any exemption under G.O.Ms.No.733, Revenue Department, Dt.31.10.1988 and G.O.Ms.No.289 MA dt:1-6-1989 in any other site.



For SUMMIT BUILDERS

[Signature]
Partner

ATTESTED
L. RAMACHARYULU
LL.B.,
ADVOCATE & NOTARY,
Plot No.80, LIC Colony,
Domalguda, HYDERABAD.

previously within HMDA limits.

4. And that the application for which CLU / Layout / Building Permission is sought for to an extent of 0.13/541.81/11,12,14,15,16,17,18,22,24 Acs / Sq.Mtrs in Sy.Nos / Pr.No. CHERLAPALLY Village KAPRA Mandal MEDCHAL MALKATGIRI District is within the ULC exemption in terms of G.O.Ms.No.733 Rev.of 1988 and the total land held does not exceed the ceiling limit held by the applicant or spouse and unmarried children.
5. I/We have not sold any other land nor has made any other application for such an exemption under the said G.O.
6. I/We hereby affirm / declare that the site / plot property applied for is not declared surplus under the provisions of U.L.C. Act, 1976.
7. I/We shall pay the necessary fees and charges leviable by HMDA under the HMDA Act, 2008.
8. I/We understand / are aware that condition may be imposed to while approving building permission / layout u/s 19 of Hyderabad Metropolitan Development Authority Act, 2008 and we assure to comply with the same.
9. I/We affirm / declare the we would undertake development / construction activity as per the approved building plan and shall not violate the same.

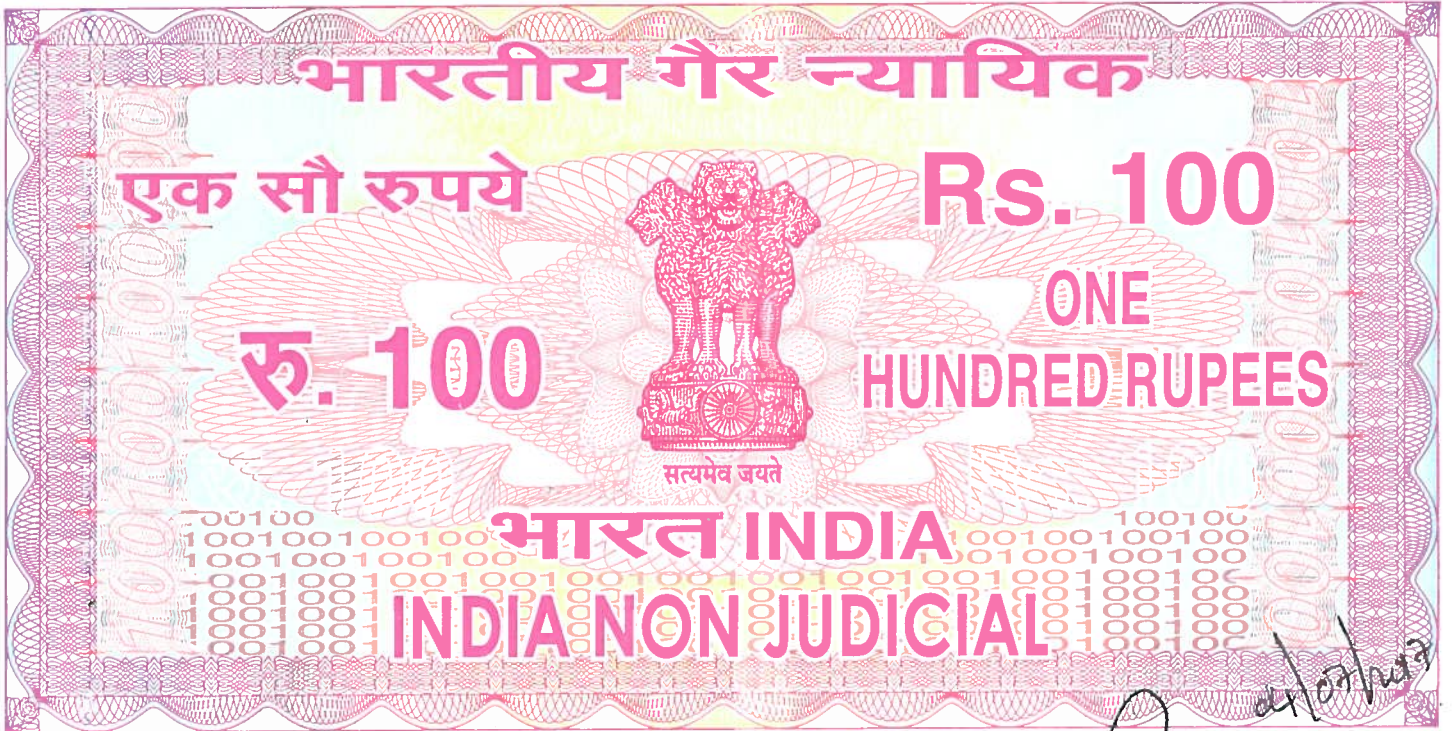
For SUMMIT BUILDERS

Partner*
Signature of the Deponent

Solemnly affirm and signed
in my presence this _____
Signature of the Notary & Seal with
Day of _____ 2017
Register No.& Date




ATTESTED
L. RAMACHARYULU
LL.B.,
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domalguda, HYDERABAD.



తెలంగాణ తెలంగాణ TELANGANA

S.No. 16206 Date: 04-07-2017

Sold to: Ramesh
S/o. W/o. D/o. Late Narsing Rao
For Whom: Summit Builders


K. SATISH KUMAR
LICENSED STAMP VENDOR
LIC No. 16-05-059/2012,
R.No. 16-05-029/2015
Plot No. 227, Opp. Back Gate
of City Civil Court,
West Marredpally, Sec'bad.
Mobile: 9849355156

DECLARATION - CUM - UNDERTAKING - (F1)

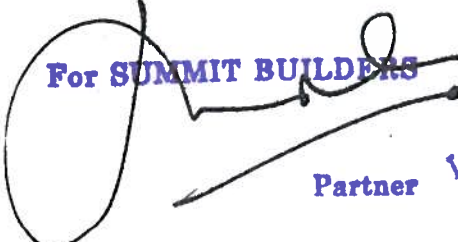
I/We SHRI. SOMAM. MODI S/o., D/o., W/o. LATE. SHRI. SATISH MODI
Aged 47, Occupation BUSINESS R/o. P. NO. 280, ROAD NO. 125, JUBILEE HILLS
do hereby declare and solemnly as follows:

That I/We are the owners of the site P.No. 11,12,14 TO 18 2294 situated at
CHERLAPALLY bearing Sy No. 11,12,14 TO 18 2294 Corresponding to
T.S.No. KAPRA Block No. MEDICAL MALEA (12) Ward No. 541:81 of CHERLAPALLY Village of
KAPRA Mandal MEDICAL MALEA (12) District admeasuring 541:81 Sq. Mtrs and that
we have applied for the building permission for construction of Residential/Commercial
Buildings consisting of 5+4 FLOORS at the above said premises/site.

That I am/we are taking up the construction of the said building by myself/ourselves and that
I am / we are not entrusting the work to any builder or any other person.

I/We hereby under take that I am/we are solely responsible for executive of the
building construction work according to plan sanctioned by MCH, under the strict
supervision of the Architect, Structural Engineer, and site Engineer Engaged by
me/ourselves for the purpose.




For **SUMMIT BUILDERS**
Partner

ATTESTED
L. RAMACHARYULU
ADVOCATE & NOTARY
LIC Colony,
Domalguda, HYDERABAD

Hence this declaration cum under taking.

In witness therefore, I/We execute this on this theday of.....2017.

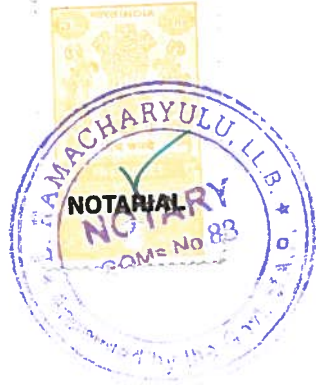
WITNESS:

- 1.
- 2.

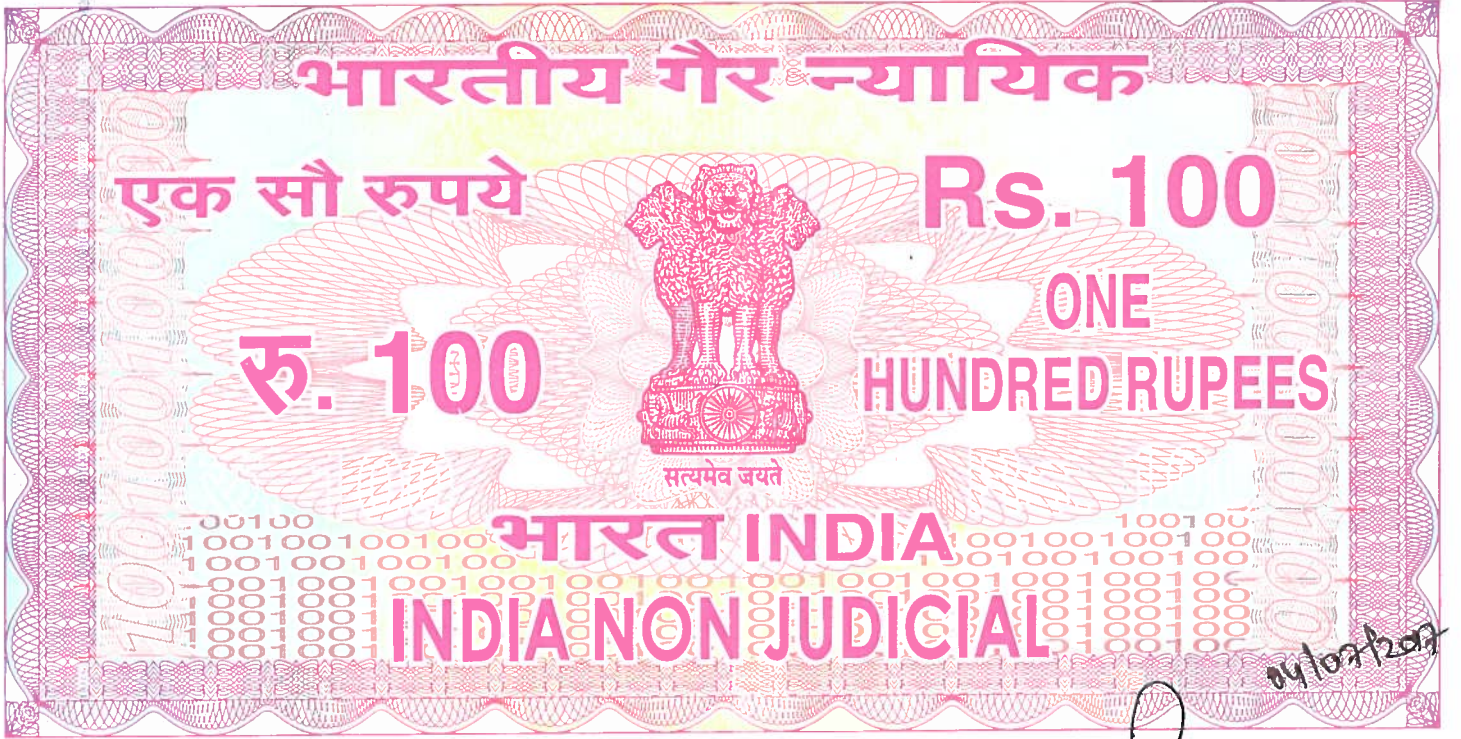
DEPONENT

For SUMMIT BUILDERS


Partner



ATTESTED
L. RAMACHARYULU
LL.B..
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domalguda, HYDERABAD.



తెలంగాణ తెలంగాణ TELANGANA

 K 510825

S.No. 16180 Date: 04-07-2017

K.SATISH KUMAR
LICENSED STAMP VENDOR
LIC No.16-05-059/2012,
R.No.16-05-029/2015
Plot No.227, Opp.Back Gate
of City Civil Court,
West Marredpally, Sec'bad.
Mobile: 9849355156

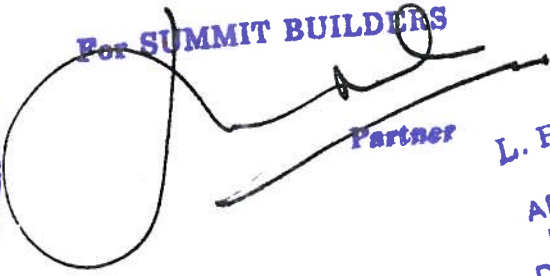
Sold to: Ramesh.
S/o. W/o. D/o. Late Narsing Rao.
For Whom: Summit Builders.


UNDERTAKING - (C1)

This undertaking is executed on this day i.e. of by
Sri/Smt. SOHAM. MODI.... S/o, W/o, D/o. LATE SHRI. SATISH MODI, R/o. P.No: 280, ROAD-25
At... CHERLAPALLY... Hyderabad / Secunderabad, herein after called the 1st party which
term shall include their Legal heir, Successors, agents assignees and tenants in favor called
the 2nd party which term shall include their representatives agents, officials, staff of M.C.H.

WHEREAS, the 1st party has applied for permission for the construction of
... RESIDENTIAL In premises No. Situated at... CHERLAPALLY
Whereas, the 2nd party imposed the following conditions for granting the permission for the
building.



For **SUMMIT BUILDERS**

Partner

ATTESTED

L. RAMACHARYULU
LL.B..
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domaiguda, HYDERABAD.

- A) **PARKING SPACE:** The parking space is provided in the Building Cellar/Stilt floor for parking of vehicles and it should not be converted (or) misused for any other purpose other than parking if vehicles and it should be free from all cross walls/partition wall, and rolling shutters should not be erected at any time in future and 2nd party is at liberty to demolish (or) remove the same without any notice in case, if the 1st party violates the undertaking executed.
- B) **BALCONY PROJECTIONS:** The balconies shall not be enclosed by converting them as toilets/bathrooms or including into rooms by reducing the mandatory open space and if any such constructions is made, the same would be removed by 2nd party without giving any notice.
- C) **PAYMENT OF SPECIAL COLLECTION CHARGES FOR GARBAGE:**
That the 1st party should pay special collection charges for garbage disposal as prescribed for garbage refuse collection.
- D) **PAYMENT OF SPECIAL SANATION FEE:** That the 1st should not pay special sanitation fee for the routine clearing and desilting of storm water drain
- E) **STOCKING OF BUILDING MATERIAL & DUMPING OF DEBRIS:** That the 1st party should not stock the building material and dump any debris on the margin/ footpath or on MCH Government land.
- F) **NO.OF UNITS:** The number of (1) units permitted should not be increased and building should not be converted into group housing and sold at any time in future.
- G) **PERCOLATION PITS & TERRACE WATER COLLECTION:** The paved surface around the building shall be provided with percolation pits of 4'x 4'x 4' covering atleast 30% of such area and provide terrace water collection and open ground as per Para 16(b) & (c) of GO.Ms.no.423, M.A., dated 31-7-1998.

THE PARTY IN TAKEN OF ACCEPTING THE ABOVE CONDITIONS IMPOSED BY THE 2nd PARTY HEREBY UNDERTAKE THAT:

- (a) The parking space provided in the slit / cellar for parking of vehicle in the Residential flats/Commercial complex will not be converted(or) misused for any other purpose other than parking and it will be free from any partition walls/cross and rolling shutters will not be provided at any time in future and the 2nd party is at liberty to demolish (or) remove the same if provided without any notice.



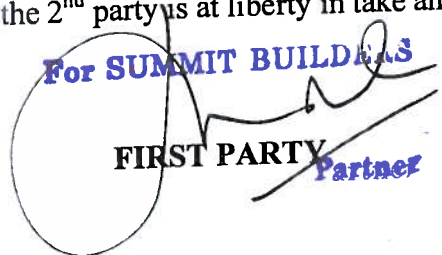
For SUMMIT BUILDERS

[Handwritten Signature]
Partner

ATTESTED
L. RAMACHARYULU
LL.B.,
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domalguda, HYDERABAD.

- (b) That the balconies will not be converted into toilets, bath & WCs Staircases, landing or convert into rooms, etc., and if any such construction is made the 2nd party is at liberty to remove them without any notice.
- (c) That I/We or purchaser of the flats/shop etc., will pay the special collection charges for the garbage disposal as prescribed for garbage refuse collection on demand from 2nd party.
- (d) That I/We or purchaser of the flats / shops etc., will pay the special sanitation fees for the routine clearing, desilting of storm water drain on demand from 2nd party.
- (e) That I/We will not stock the building materials and do not dump debris on the road margin, foot path and on MCH land and 2nd party is at liberty to remove / seize such material or impose fine on 1st party.
- (f) The number of () units permitted will not be increased and the building should not be converted into group housing and sold.
- (g) That he / she will provide percolation pits of size not less than 4'x 4'x4' size in the paved surface of the building, covering at least 30% of such areas and the pits shall be filled with small pebbles or brick jelly or river sand and covered with perforated concrete slabs. Further terrace water collection section and open ground will be provided as described in Para (b) & (c) of G.O. Ms.No.423, M.A dated 31-7-1996 depending on the site conditions.

If the 1st party violates any of the above conditions the 2nd party is at liberty to take any action deemed fit.

For SUMMIT BUILDERS

FIRST PARTY Partner

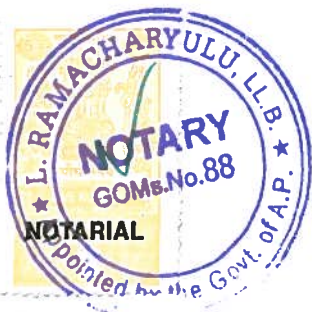
WITNESSES;

- 1.
- 2.

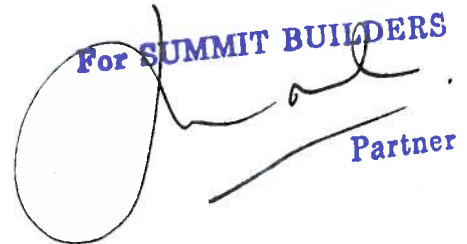
VERIFICATIONS:

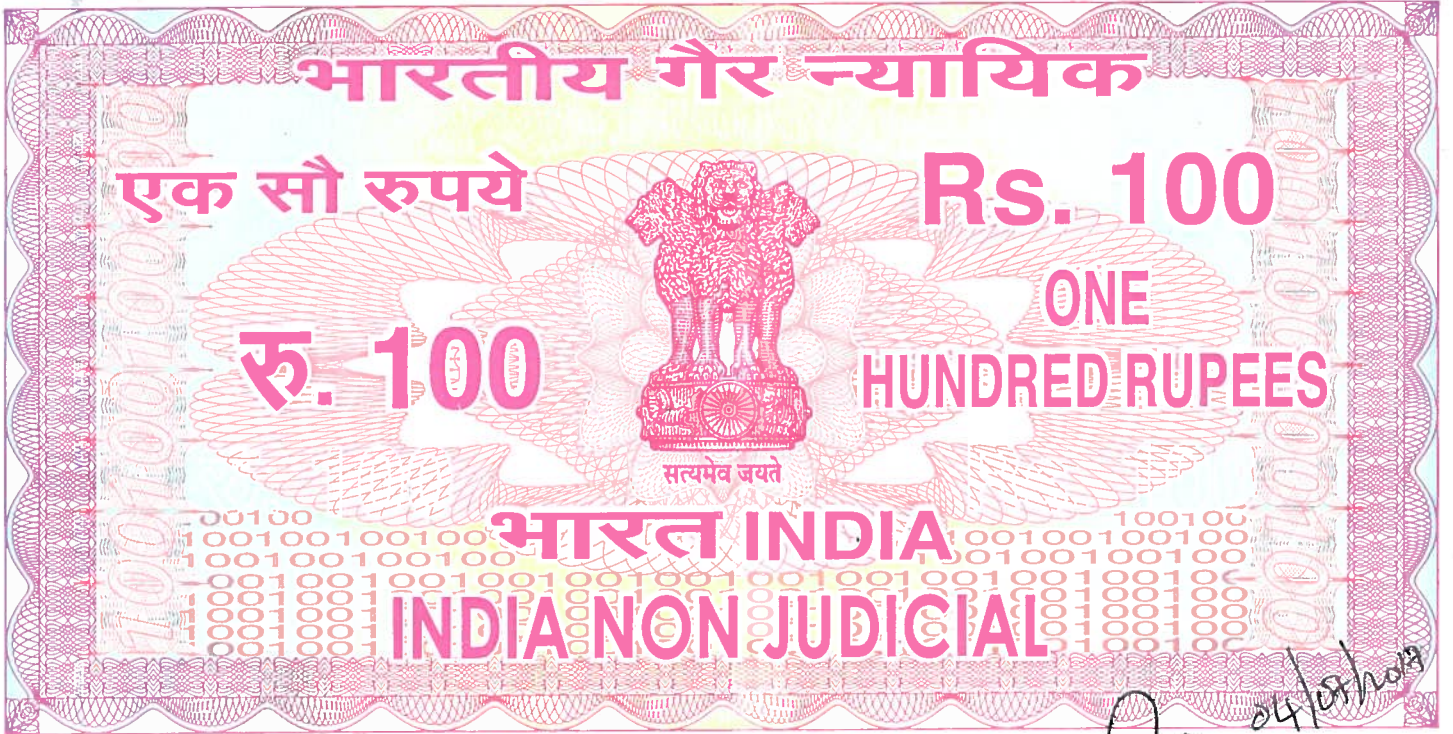
I, the above named deponent do hereby solemnly affirm and certify that I have voluntarily executed this Affidavit/**Undertaking** and that its contents are true to the best of my knowledge.

Verified on this day of at Hyderabad.




ATTESTED
L. RAMACHARYULU
 LL.B.,
 ADVOCATE & NOTARY
 Plot No.80, LIC Colony,
 Domalguda, HYDERABAD

For SUMMIT BUILDERS

Partner



తెలంగాణ తెలంగాణ TELANGANA

 04/07/2017
K 510835

S.No. 16207 Date: 04-07-2017

K.SATISH KUMAR
LICENSED STAMP VENDOR
LIC No.16-05-059/2012,
R.No.16-05-029/2015
Plot No.227, Opp.Back Gate
of City Civil Court,
West Marredpally, Sec'bad.
Mobile: 9849355156

Sold to: Ramesh
S/o. W/o. D/o. Late Narsing Rao
For Whom: Summit Builders.

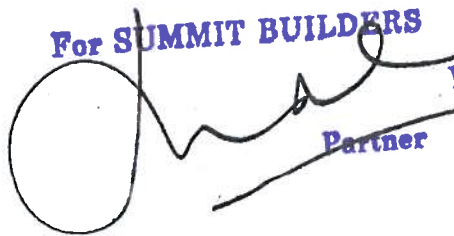
DECLARATION – CUM – UNDRETAKING – (g1)

I/We SHRI SOHAM MODI S/o., D/o., W/o LATE SHRI SATISH MODI
Aged 47, Occupation BUSINESS R/o P.NO: 280, ROAD NO: 25, JUBILEE HILLS,
do hereby declare and solemnly as follows: HYD-34.

That I/We are the owners of the site P.No _____ situated at
CHERLAPALLY Bearing Sy .No 11,12,14 TO 16 & 294 Corresponding T.S.No _____
Block No _____ Ward No _____ of CHERLAPALLY Village of KAPRA
Mandal MEDCHAL District admeasuring 541.81 Sq.Mtrs and that we have applied for
the building permission for construction of Residential/Commercial Buildings consisting
of 5+4 at the above said premises/site.

That I / we have entrusted the Construction of the said building to
Summit Builders Pvt Ltd Builder / Construction firm, the details of which are as given
below.




For **SUMMIT BUILDERS**
Partner

ATTESTED
L. RAMACHARYULU
LL.B.,
ADVOCATE & NOTARY
Plot No.80. LIC Colony,
Domalguda, HYDERABAD

Name of the Builder Construction firm

MODI PROPERTIES PVT. LTD.

Represented by

SHRI SOHAM MODI S/O LATE SHRI SATISH MODI.

Present Address

P. NO. 280, ROAD NO. 25, JUBILEE HILLS HYD- 500034.

Permanent Address

- SAME AS ABOVE -

Regd No. if any

BL/1171/2008

That I am / We are also jointly and severally responsible along with Builder Architect, Structural and Site Engineer, for the execution of building according sanctioned plan.

That I am/We are fully aware of the provision of G.O.541 MA, dated 17-11-2000 and I/We undertake to abide by the same.

DEPONENT

(Owner)

I / We being individual / firm / company / society / Represented to

SHRI SOHAM MODI as BUILDER address

CHERLAPALLY have been entrusted to construct the building consisting of situated at

RESIDENTIAL purpose in P. No. _____ situated at RESIDENTIAL by virtue of a Regtd. Development Agreement (copy of which is enclosed herewith).

We hereby undertake to carryout and complete the construction of building according to plan sanctioned by MCH.

We are jointly and severally responsible for the execution of building according to sanctioned plan along with owner and Architect, Structural Engineer & Site Engineer engaged by us for the purpose of supervision.

We are fully aware of all the provisions of G.o.Ms.No.168, M.AdT 07-04-2012 and hereby undertaking to aided by the same..

Hence this declaration cum undertaking.

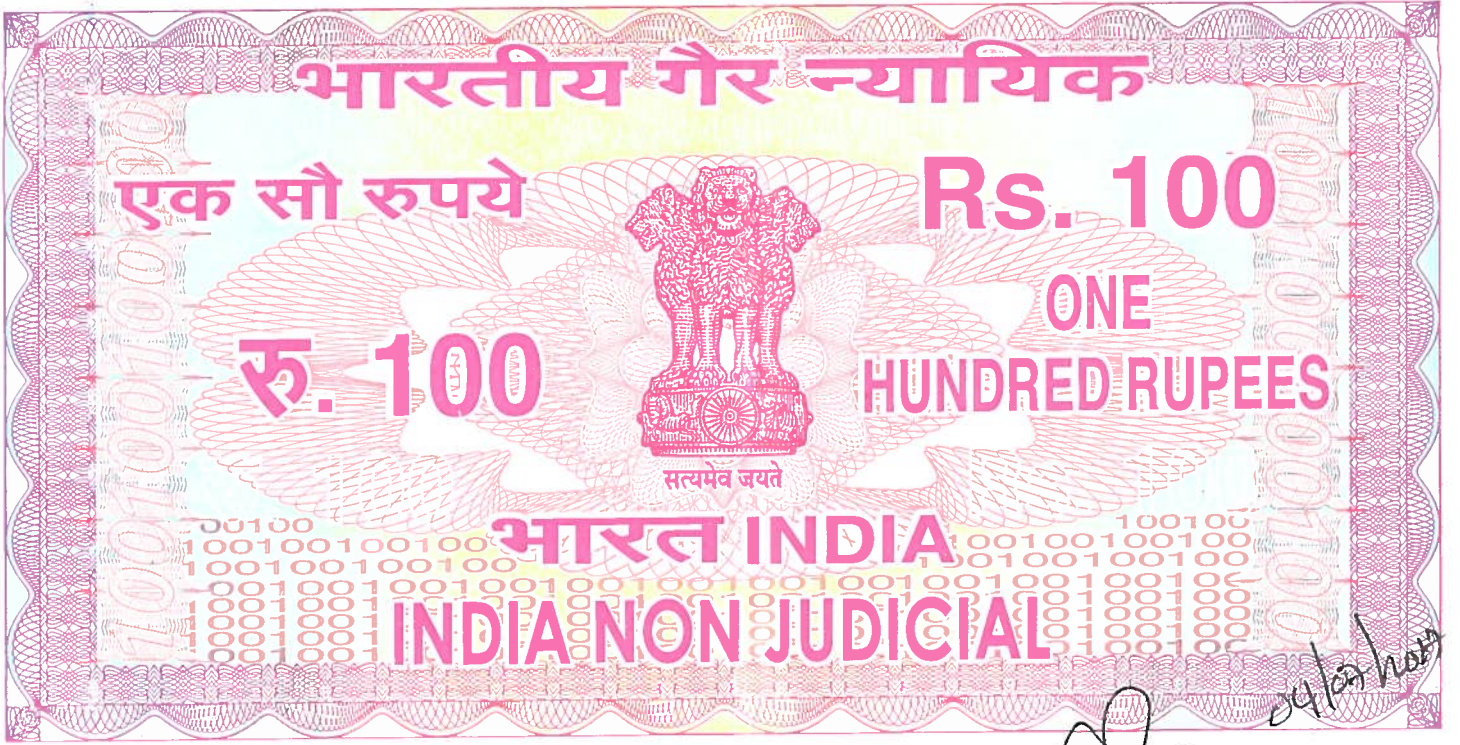
In witness therefore, I/We executive this the _____ day of _____ 2017

For MODI PROPERTIES PVT. LTD.
Managing Director

For SUMMIT BUILDERS
DEPONENT
1. Builders Partner
2. Owners



ATTESTED
L. RAMACHARYULU
LL.B..
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domalguda, HYDERABAD.



తెలంగాణ తెలంగాణ TELANGANA

[Signature]
K 510836

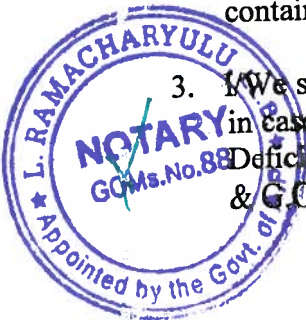
S.No. 16208 Date: 04-07-2017

K.SATISH KUMAR
LICENSED STAMP VENDOR
LIC No.16-05-059/2012,
R.No.16-05-029/2015
Plot No.227, Opp.Back Gate
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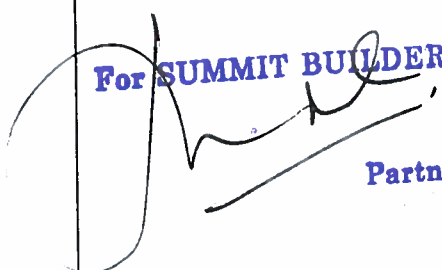
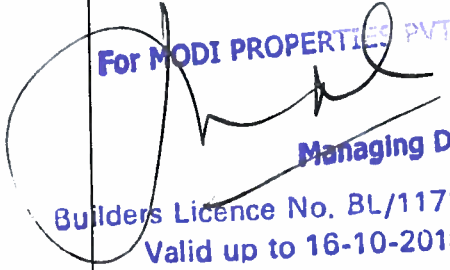
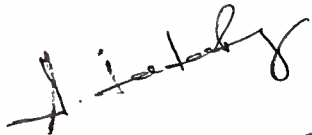

Sold to: Ramesh.
S/o. W/o. D/o. Late Narsing Rao
For Whom: Summit Builders.

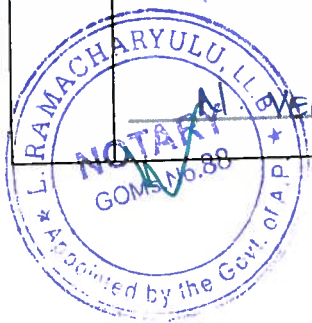
CERTIFICATE

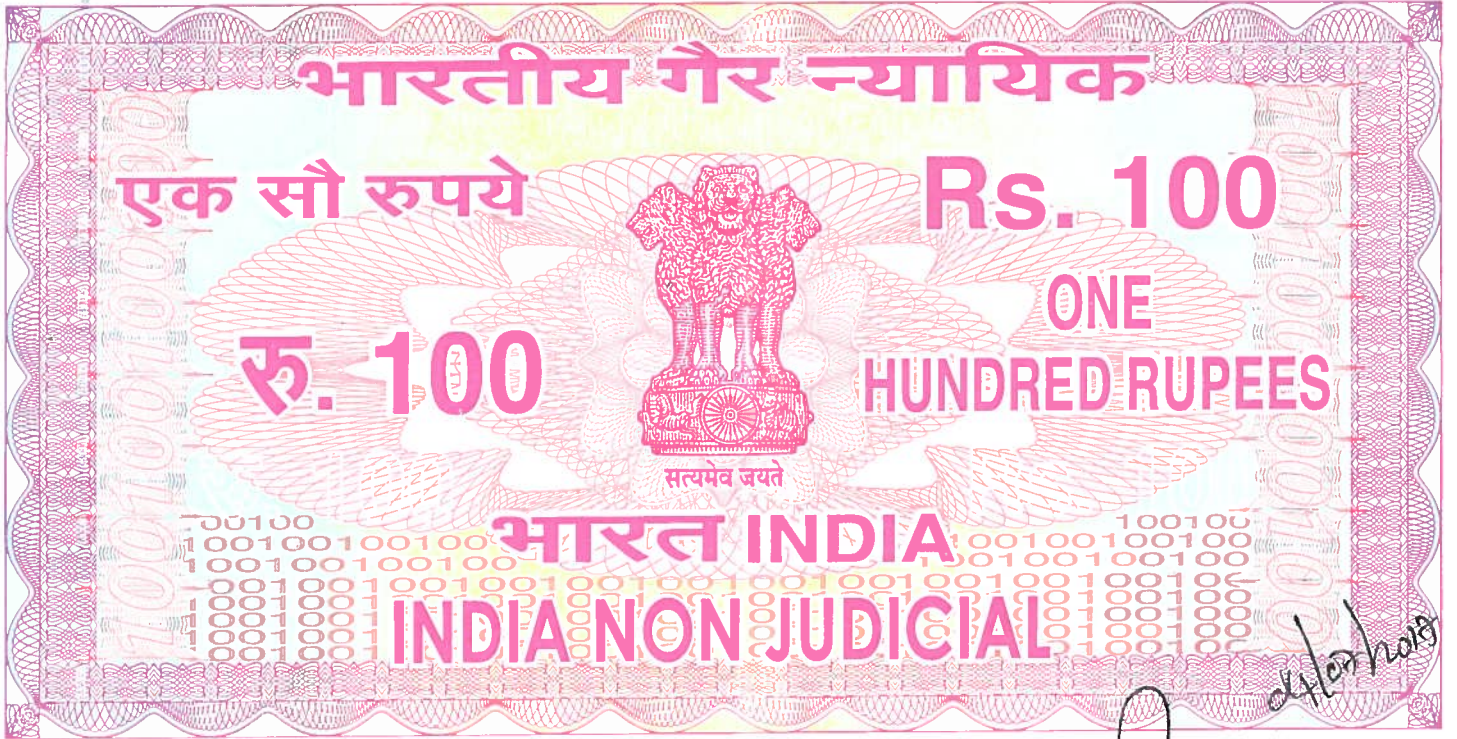
1. I/We declare that i am /we are the absolute /owner/owners/Lessee of the land on which I/We intend to erect the Building /Layout/CLU/NOC and am/are enclosing copies of relevant document of ownership /lease certified by Magistrate/Notary Public/a Gazetted Officer authorised by the commissioner in this behalf.
2. I/We have gone through the Building Regulations made under the provisions of the A.P.Building Rules- 2012/Zoning/Master Plan regulations in force and have satisfied myself /ourselves that the site and building plans are in accordance with provisions contained therein.
3. I/We shall be responsible and liable for action by the competent Authority/government in case of any violations deviations any structural failure, deficiency in fire measures Deficiency Building service etc.,in accordance with G.O.Ms.No.541,Dated 17-11-2000 & G.O.Ms.No.168,Dated.07-04-2012.



[Signature]
For SUMMIT BUILDERS
Partner
ATTESTED
L. RAMACHARYULU
LL.B..
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domalguda, HYDERABAD

Sl.No.	Name of the Owner/Developer/License Technical Personnel.	Signature
1.	<p>_____</p> <p>Owner/Owners/Lessee/Authority Agent.</p>	<p>For SUMMIT BUILDERS</p>  <p>Partner</p>
2.	<p>_____</p> <p>Builder/Developer</p>	<p>For MODI PROPERTIES PVT. LTD.</p>  <p>Managing Director</p> <p>Builders Licence No. BL/1171/2008 Valid up to 16-10-2018</p>
3.	<p><u>S. KARUNAKAR REDDY</u></p> <p>Architect/Engineer/Surveyor</p>	 <p>S. KARUNAKAR REDDY ARCHITECT MCH-1541,CA/96/2085a</p>
4.	<p><u>VENKATA RAMANA RAO</u></p> <p>Structural Engineer/Civil Engineer/Planner</p>	<p>ATTESTED</p>  <p>L. RAMACHARYULU LL.B.. ADVOCATE & NOTARY Plot No.80, LIC Colony, Domalguda, HYDERABAD</p>





తెలంగాణ తెలంగాణ TELANGANA

S.No. 16209 Date: 04-07-2017

Sold to: Ramesh
S/o. W/o. D/o. Late Narsing Rao
For Whom: Summit Builders

K.SATISH KUMAR

LICENSED STAMP VENDOR
LIC No.16-05-059/2012,
R.No.16-05-029/2015
Plot No.227, Opp.Back Gate
of City Civil Court,
West Marredpally, Sec'bad.
Mobile: 9849355156

Declaration-cum-undertaking of the Owner / Architect / Structural Engineer

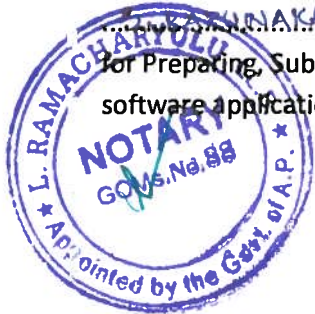
OWNER:

I/We..... SHRI SOHAM MODI.....
S/O, D/O, W/O LATE SHRI SATISH MODI....., Aged 47..... years,
Occupation..... BUSINESS..... R/O..... P.No: 280, ROAD NO: 29, JUBILEE HILLS
..... HYDERABAD - 500034.....

do hereby declare and solemnly affirm as follows.

I/We are the Owners of the proposed building / Layout / CLU / NOC (as the case may be) bearing Site plot / H No., situated bearing Sy.No...11, 12, 14, 15, 16, 17, 18 & 294.....
..... CHERLAPALLY..... Village / Gram Panchayat KAPPA.....
Mandal MEDICAL MALKAJGIRI....., District SHRI SOHAM MODI..... I/We
are appointing licensed Architect / Structural Engineer / Urban Planner (as applicable) Sri / Smt.
..... WINAKAR REDDY.....

for Preparing, Submitting, Uploading, Processing & Communicating with HMDA ONLINE DPMS software application for the purpose of technical approval of the submitted proposal before HMDA.



For SUMMIT BUILDERS

Partner

ATTENDED
L. RAMACHARYULU
LL.B.,
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domaiguda, HYDERABAD

Signature of Owner

ARCHITECT / STRUCTURAL ENGINEER / URBAN PLANNER:

Name of the ARCHITECT : S. KARUNAKAR REDDY

STRUCTURAL ENGINEER : N. VENKATARAMANA RAO

URBAN PLANNER :

CoA Registration Number : CA/96/20854

License Number : 19/STR/Engineers/TPIO/G.H.M.C.

(Enclose copy of license issued by CoA / Institute of Town Planner / Institute of Engineers)

Address: PLOT NO: 627, 1ST FLOOR, ANNAPURNA ARCADE

OPP. DR. A.S. RAO NAGAR ARCH, HYDERABAD-500062.

I, the licensed Architect / Structural Engineer / Urban Planner abide the responsibility on behalf of

Sri / Smt SOHAM MODI S/O., D/O., W/O LATE SHRI SATISH MODI

..... for Preparing, Submitting, Uploading, Processing &

Communicating with HMDA ONLINE DPMS software application for the above mentioned proposal.

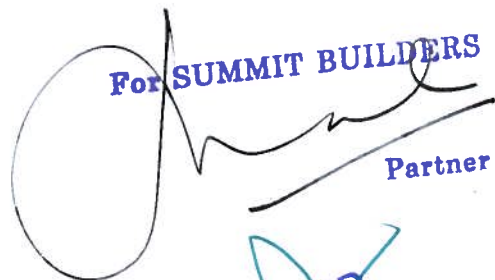
I/We are aware of all the rules & regulations under GO MS No 541 dated 17-11-2000 and GO MS No

168 dated 07.04.2012 and other zoning / Master Plan regulations in force. I/We are also well versed

with Pre-DCR and related technologies.


S. KARUNAKAR REDDY
ARCHITECT
MCH-1541, CA/96/20854

Signature of Architect / Structural Engineer


For **SUMMIT BUILDERS**
Partner



ATTESTED
L. RAMACHARYULU
LL.B..
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domalguda, HYDERABAD

Council of Architecture

This is to certify that the name of Shri/~~Shri~~

KARUNAKAR REDDY S.

has been entered in the register and his/~~her~~ Registration No. is

CA/ 96/20854

This certificate is valid from the twentyfourth

day of December 1996 to the thirty-first

day of December 1997 inclusive

List of Additional Qualification :

Given under the common Seal of the Council of Architecture,

this twentyfourth day of December, 1996

Vinod Kumar
Secretary

Certificate of Registration

Renewals

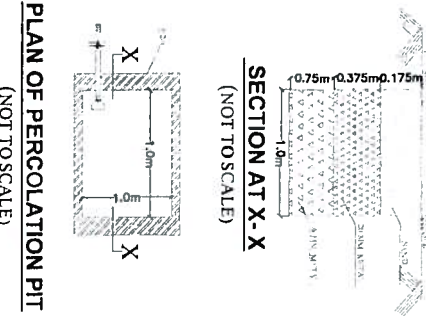
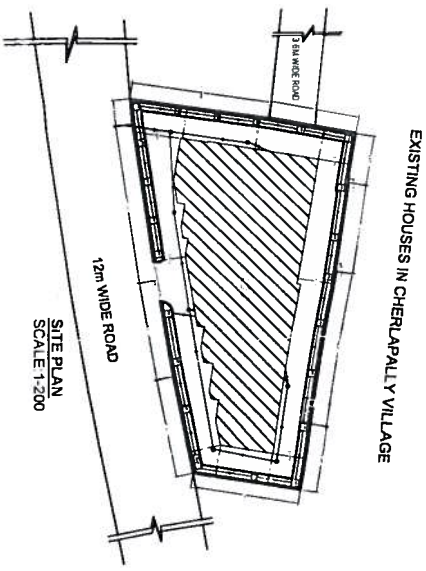
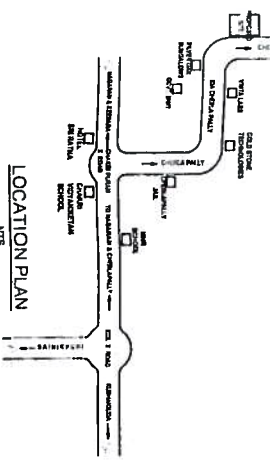
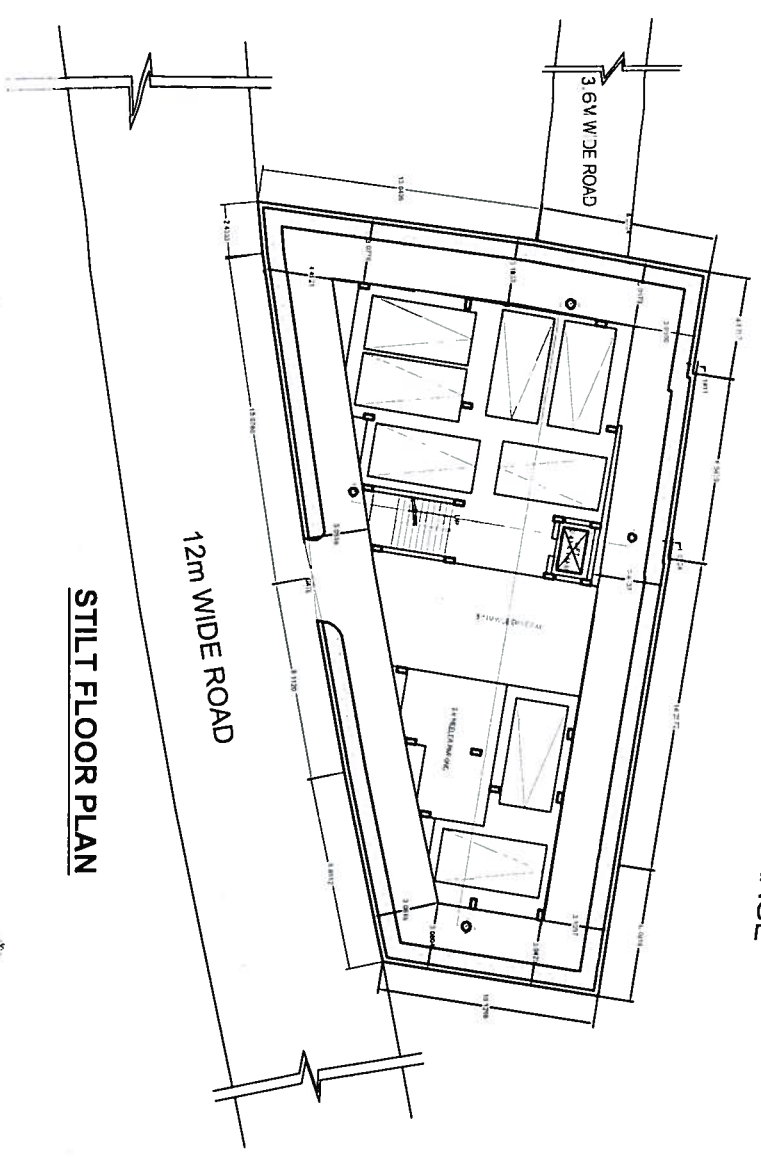
Year	Signature of Registrar
1998 to 2005	<u>Vinod Kumar</u> 26.12.96
Valid up to	<u>Vinod Kumar</u> 31.12.2007
	<u>Vinod Kumar</u> 16.5.2008

S. Karunakar Reddy
S. KARUNAKAR REDDY
ARCHITECT
MCH-1541, CA/96/20854

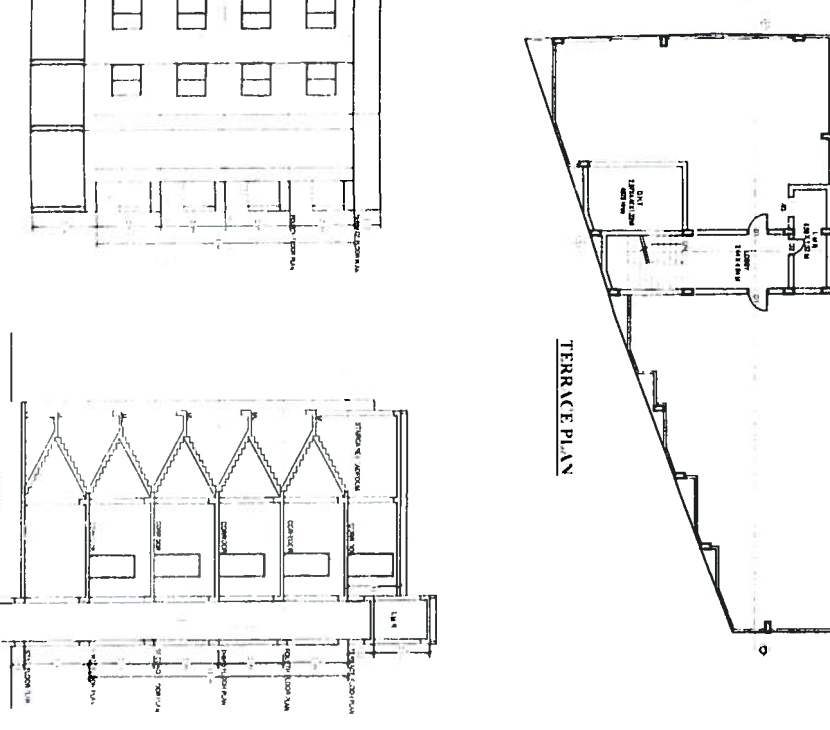
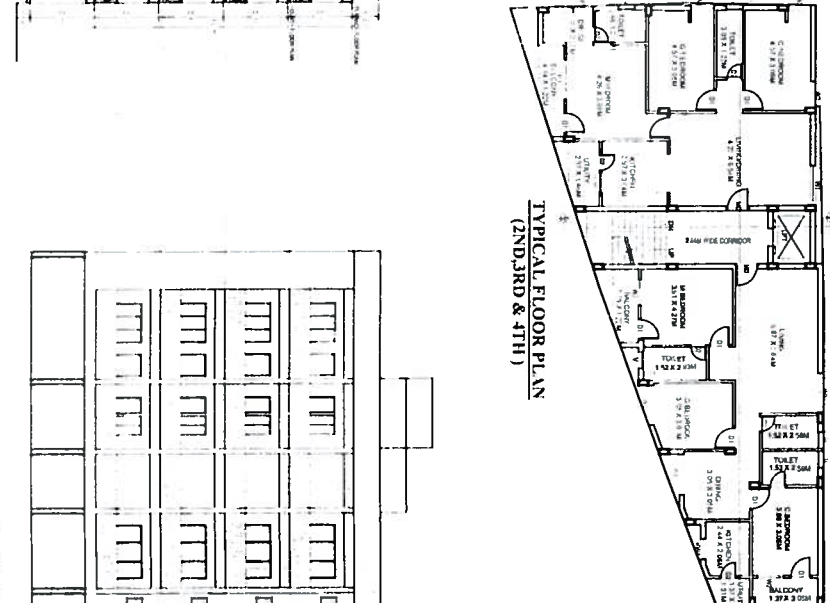
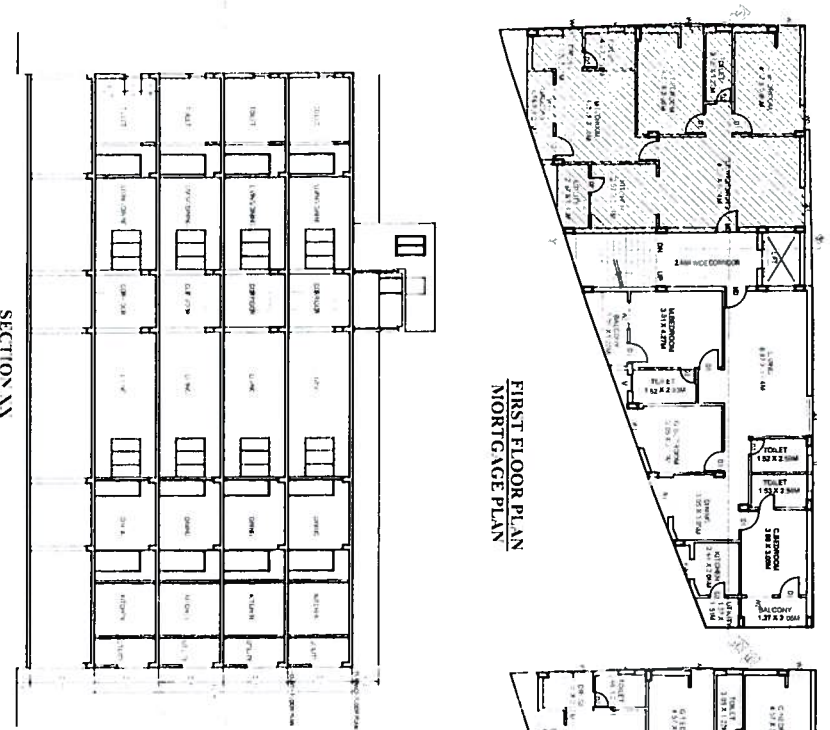
ATTESTED
L. Ramacharyulu
L.L.B.,
ADVOCATE & NOTARY
Plot No.80, LIC Colony,
Domalguda, HYDERABAD.

L. Ramacharyulu
President

EXISTING HOUSES IN CHERLAPALLY VILLAGE



PLAN OF PERCOLATION PIT (NOT TO SCALE)



OFFICE USE :-

FILE NO. C/C TR

PERMIT NO. DATE

PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT COMPLEX IN SY. NOS 11, 12, 14 TO 16 & 29A (PART) SITUATED AT CHERLAPALLYVILLAGE, SHMCA KAPPA CIRCLE KAPPA MANDAL, MEDICAL, MARRAIGRI DIST.

BELONGING TO: Mrs. SUMANT BUILDERS

REPRESENTED BY: MRS. MANAGING PARTNER

SRI. SORHAM MODI, S/O SRI. SATISH MODI

CONDITIONS :-

AREA STATEMENT:

TOTAL PLOT AREA	643.838sq.mts
Built up Area of 4 FLOOR Floors:	644.988sq.yds
Upper ground	281.26
1st. fl. floor	261.28 (FOR EACH FLOOR)
Total	1045.04
STILT FLOOR	168.1850 mts
PARKING	11.02% (proposed)

SPECIFICATIONS:

BASIS OF FOUNDATION: ... C.P.S

ROOFING: CORRUGATED GALV. SHEET

SUPER STRUCTURE: ... BRICK IN CURRENT MOTORP

PLASTERING: ... CEMENT MORTAR

FLOORING: ... MARBLE TILES

DOORS & WINDOWS: ... SA. WOOD

SCHEDULE OF OPENINGS:

DOORS	D1 -- 1.20M x 2.10M
	D2 -- 0.90M x 1.70M
WINDOWS	W1 -- 1.80M x 1.50M
	W2 -- 1.50M x 1.50M
	W3 -- 1.25M x 1.50M
	W4 -- 1.07M x 1.50M
	W5 -- 0.90M x 0.90M
	W6 -- 0.90M x 0.90M

REFERENCE: EXISTING ... TO BE DISMANTLED

DRAWING TITLE: ...

SCALE: 1:25

DATE: ...

DESIGNED BY: ...

CHECKED BY: ...

OFFICE USE :-

FOR SUMANT BUILDERS

For MODI PROPERTIES PVT. L

Partners Managing Dir

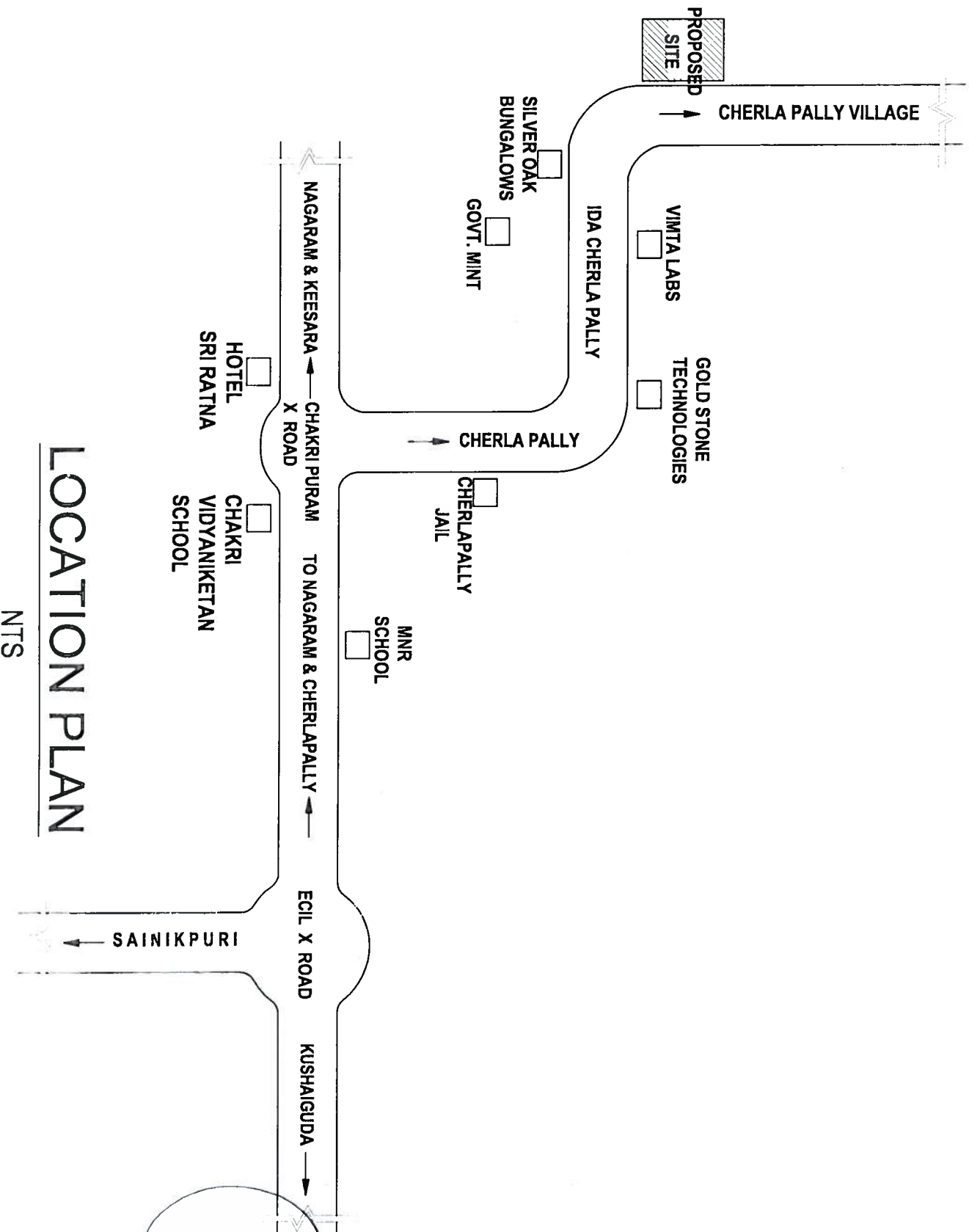
Builders License No. BL/1171/...

Valid up to 16-10-2018

SRI. ENGINEER ... ARCHITECT'S SIGNATURE

KARUNAKAR ARCHITECTS

MCH-1541, CA/96



LOCATION PLAN

NTS

PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT COMPLEX IN SY. NOS 11, 12, 14 TO 18 & 294 (PART) SITUATED AT CHERLA PALLY VILLAGE, GHMC KAPRA CIRCLE, KAPRA MANDAL, MEDCHAL-MALKAJGIRI DIST.

BELONGING TO:
 M/s. SUMMIT BUILDERS
 REPRESENTED BY ITS MANAGING PARTNER
 SRI. SOHAM MODI, S/O SRI. SATISH MODI

REFERENCE	PROPOSED	EXISTING	TO BE DISMANTLED	DRAWING TITLE
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LOCATION MAP

SCALE : N.T.S

NORTH

OWNERS SIGNATURE

BUILDERS SIGNATURE

For SUMMIT BUILDERS

 Partner

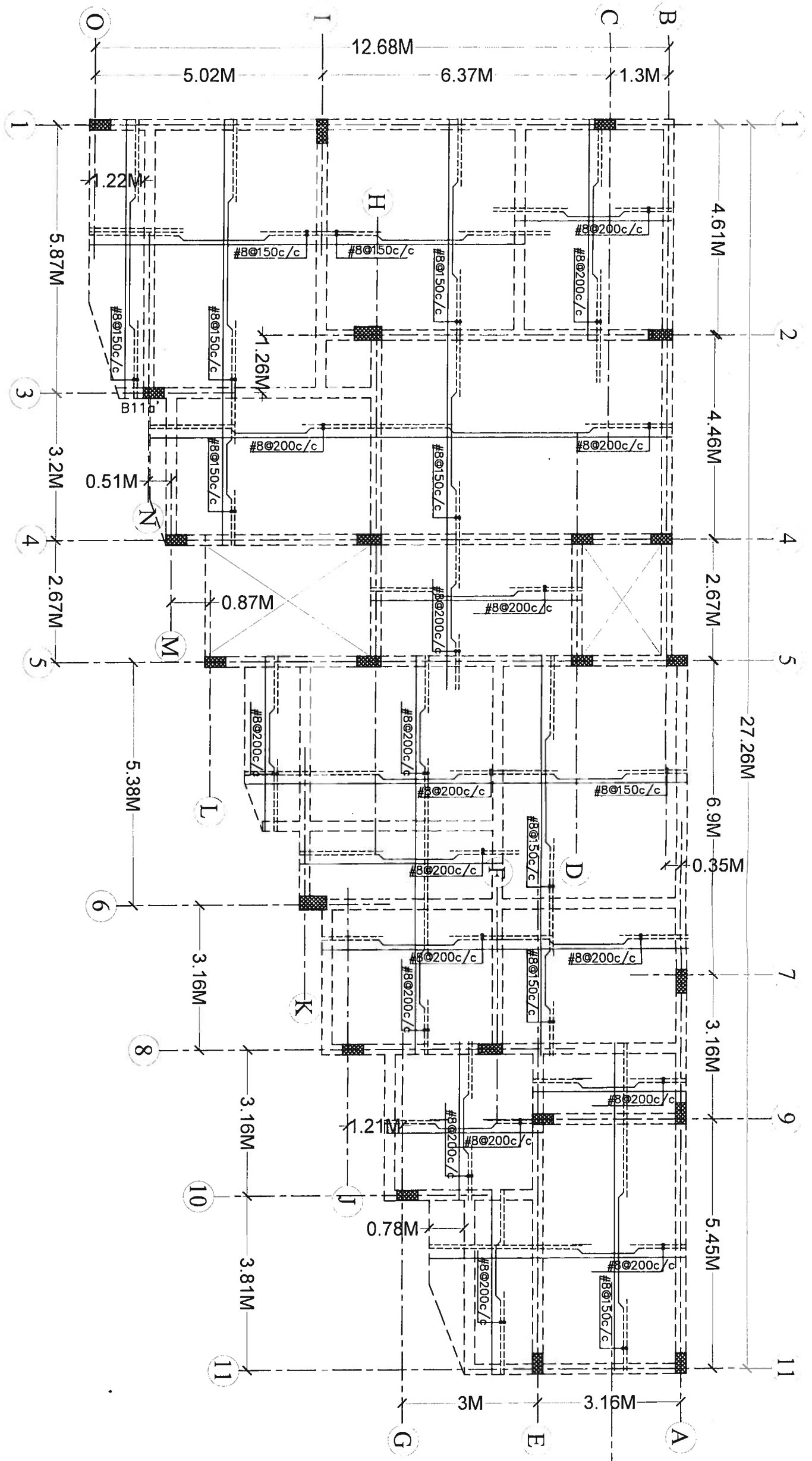
For MODI PROPERTIES PVT. LTD.

 Managing Director
 Builders Licence No. BL/11771/2018
 Valid up to 16-10-2018

STRUCTURE ENGINEER'S SIGNATURE

ARCHITECT'S SIGNATURE

S. KARUNAKAR REDDY
 ARCHITECT
 MCP-1541.CA/196/2085A



125mm Thick slab uniform
unless otherwise mentioned

PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT IN SY. Nos. 11, 12, 14 TO 18 & 294(P) SITUATED AT CHERLAPALLY VILLAGE, GHMC, KAPRA CIRCLE, KAPRA MANDAL, MEDCHAL MALKAJIRI DIST.

BELONGING TO:-
M/S. SHRI SOHAM MODI S/O
LATE SHRI SATISH MODI

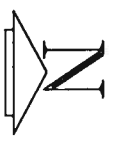
NOTES:

1. DO NOT SCALE THIS DRAWING. FOLLOW FIGURED DIMENSIONS
2. ALL DIMENSIONS ARE IN METERS & MILLIMETERS UNLESS OTHERWISE SPECIFIED
3. USE VIBRATED REINFORCED CONCRETE OF MIX M25 FOR FOOTINGS AND COLUMNS CONFORMING TO IS:456-2000
4. USE HYSD BARS OF Fe-500 AS PER IS:1786-1985.
5. MIN. LAP LENGTHS RECOMMENDED FOR REINFORCEMENT.

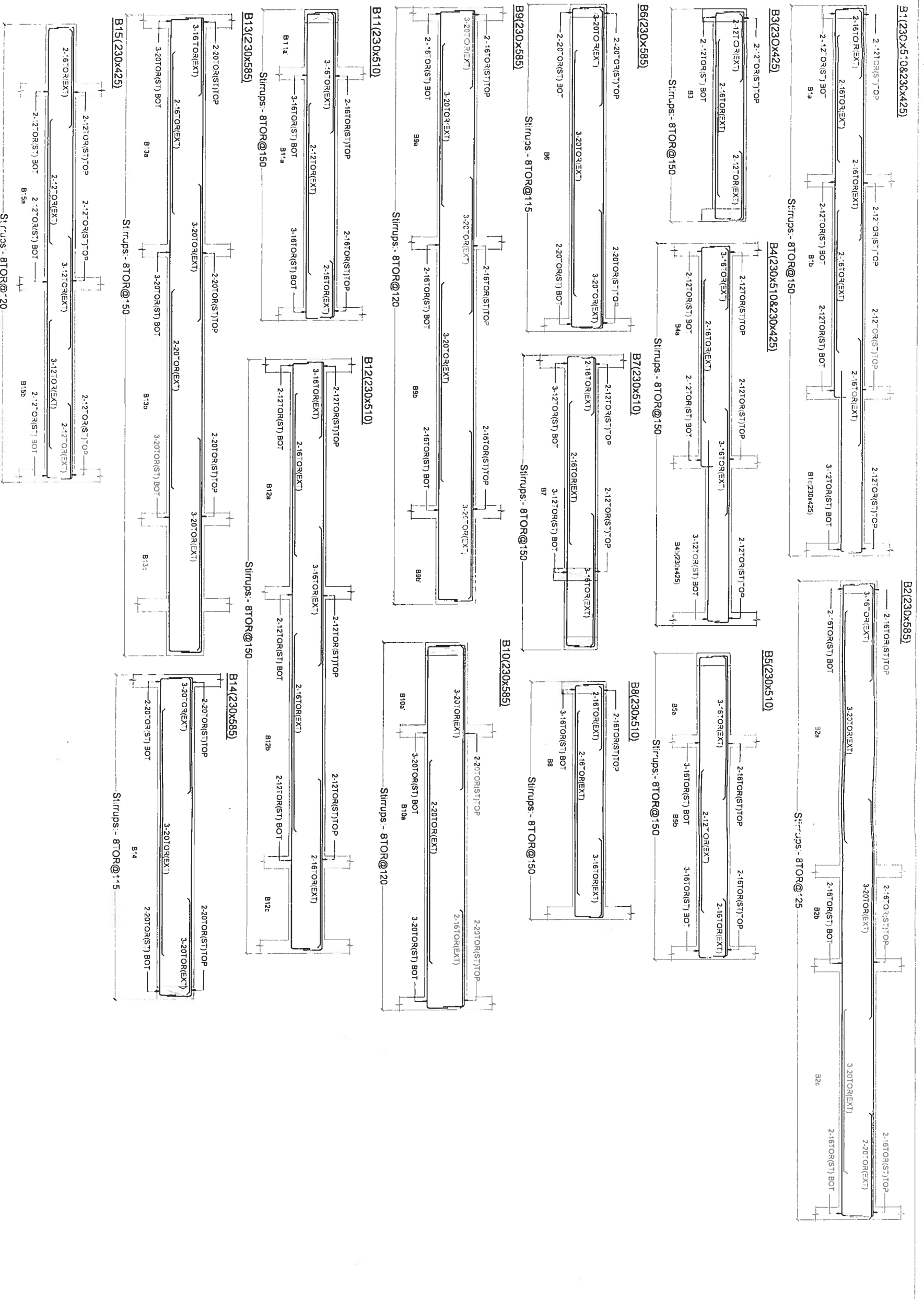
BAR DIA	DEVELOPMENT LENGTH (LD IN mm)
#8	380
#10	535
#12	800
#16	750
#20	990
#25	1200

6. NOT MORE THAN 3% OF COLUMN REINFORCEMENT SHALL BE LAPPED AT A PARTICULAR LOCATION.
7. THE STRUCTURE IS DESIGNED FOR STILT+4/FLOORS
8. S.B.C. OF SOIL IS ADOPTED AS 300 kN/5qm
9. PROVIDE CLEAR COVER FOR FOOTINGS=50mm, COLUMNS=40mm BEAM STIRRUPS=20mm, SLAB=20mm
10. STIRRUPS SHOULD HAVE STANDARD HOOK AS PER SP-34.
11. THE DIFFERENCE IN LEVELS OF DEPTH OF ADJACENT FOOTINGS SHALL NOT BE GREATER THAN HALF THE CLEAR DISTANCE BETWEEN THEM.
12. CORRELATE WITH THE RELEVANT DRAWINGS FOR THE NECESSARY DETAILS
13. ANY DISCREPANCY FROM THE DRAWING SHALL BE BROUGHT TO THE NOTICE OF CONSULTANTS.
14. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DWG.

NORTH



TITLE
SLAB DETAILS(STILT FLOOR)
SIGNATURE OF STRUCTURAL ENGINEER



PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT IN SY NOS. 11, 12 TO 18 & 294(?) SITUATED AT CHERLAPPALLY VILLAGE, GHMC KAPPA CIRCLE, KAPPA MANDAL, MEDICAL MALKAJGIRI DIST.

BELONGING TO:-
M/S. SHRI SOHAM MODI S/O
LATE SHRI SATISH MODI

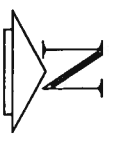
NOTES:

1. DO NOT SCALE THIS DRAWING. FOLLOW FIGURED DIMENSIONS
2. ALL DIMENSIONS ARE IN METRES & MILLIMETRES ONLY.
3. USE VIBRATED REINFORCED CONCRETE OF MIX M25 FOR FOOTINGS AND COLUMNS CONFORMING TO IS:456-2000
4. USE HYSD BARS OF Fe-500 AS PER IS:1786-1985.
5. MIN. LAP LENGTHS RECOMMENDED FOR REINFORCEMENT.

BAR DIA	DEVELOPMENT LENGTH (LD IN MM)
#8	380
#10	535
#12	600
#16	750
#20	990
#25	1200

6. NOT MORE THAN 33% OF COLUMN REINFORCEMENT SHALL BE LAPPED AT A PARTICULAR LOCATION.
7. THE STRUCTURE IS DESIGNED FOR SEISMIC ZONE III
8. S.B.C. OF SOIL IS ADOPTED AS 300 KN/Sqm
9. PROVIDE CLEAR COVER FOR FOOTINGS=50mm, COLUMNS=40mm, BEAM STIRRUPS=20mm, SLAB=20mm
10. STIRRUPS SHOULD HAVE STANDARD HOOK AS PER SP-34.
11. THE DIFFERENCE IN LEVELS OF DEPTH OF ADJACENT FOOTINGS SHALL NOT BE GREATER THAN HALF THE CLEAR DISTANCE BETWEEN THEM.
12. CORRELATE WITH THE RELEVANT DRAWINGS FOR THE NECESSARY DETAILS
13. ANY DISCREPANCY FROM THE DRAWING SHALL BE BROUGHT TO THE NOTICE OF CONSULTANTS.
14. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DWG.

NORTH



TITLE
BEAMDETAILS(STILT FLOOR)
SIGNATURE OF STRUCTURAL ENGINEER

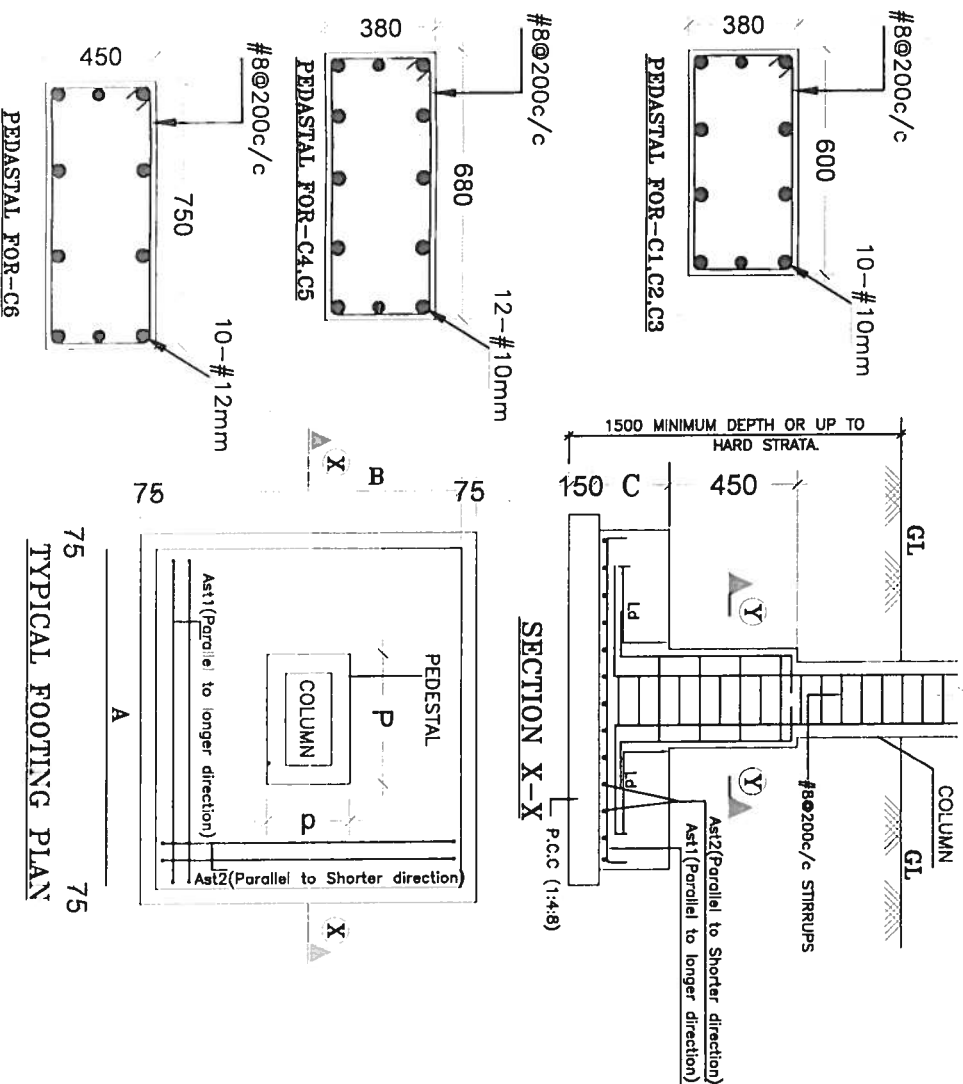
SBC-260KN/M2

SCHEDULE OF COLUMNS

COL. TYPE	MIX	SIZE (axb)	MAIN STEEL	TIES & LINKS	C/S OF COLUMN
C1	M-25	230X450	4-#16mm 4-#12mm	#8@200c/c 1 TIE + 1 LINK	450 230
C2	M-25	230X450	8-#16mm	#8@200c/c 1 TIE + 1 LINK	450 230
C3	M-25	230X450	8-#20mm	#8@200c/c 1 TIE + 1 LINK	450 230
C4	M-25	230X530	8-#20mm	#8@200c/c 1 TIE + 1 LINK	530 230
C5	M-25	230X530	10-#20mm	#8@200c/c 1 TIE + 2 LINKS	530 230
C6	M-25	300X600	10-#20mm	#8@200c/c 2 TIES	600 300

SCHEDULE OF FOOTINGS

FOOT. TYPE	MIX	FOOTING SIZE			STEEL	
		A(mm)	B(mm)	C(mm)	As1 (Parallel to longer direction)	As2 (Parallel to shorter direction)
F1	M-20	1650	1520	400	10NOS-#10mm	11 NOS-#10mm
F2	M-20	1850	1650	450	11 NOS-#10mm	13 NOS-#10mm
F3	M-20	2000	1800	530	14 NOS-#10mm	16NOS-#10mm
F4	M-20	2100	2000	580	12 NOS-#12mm	13NOS-#12mm
F5	M-20	2650	2300	600	16 NOS-#12mm	18NOS-#12mm
CF1	M-20	3600	1800	600	#12mm@120mm(bot) #10mm@120mm(top)	#12mm@120mm(bot) #10mm@120mm(top)



PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT IN SY Nos. 11, 12, 14 TO 18 & 294(P) SITUATED AT CHERAPPALLY VILLAGE, GHMC, KAPRA CIRCLE, KAPRA MANDAL, MEDCHAL MALKAJGIRI DIST. BELONGING TO:- M/S. SHRI SOHAM MODI S/O LATE SHRI SATISH MODI

NOTES:

- DO NOT SCALE THIS DRAWING. FOLLOW FIGURED DIMENSIONS.
- ALL DIMENSIONS ARE IN METRES & MILLIMETRES ONLY.
- USE VIBRATED REINFORCED CONCRETE OF MIX M20 FOR FOOTINGS AND M25 FOR COLUMNS CONFORMING TO IS:456-2000.
- USE HPSD BARS OF F_y=500 AS PER IS:1786-1985.
- MIN. LAP LENGTHS RECOMMENDED FOR REINFORCEMENT.

BAR DIA	DEVELOPMENT LENGTH (Ld)
#8	380
#10	535
#12	600
#16	750
#20	990
#25	1200

- NOT MORE THAN 33% OF COLUMN REINFORCEMENT SHALL BE LAPPED AT A PARTICULAR LOCATION.
- THE STRUCTURE IS DESIGNED FOR STLS-4+1200S
- S.B.C. OF SOIL IS ADOPTED AS 300 KN/SqM
- PROVIDE CLEAR COVER FOR FOOTINGS=50mm, COLUMNS=40mm, BEAM STIRRUPS=25mm, SLAB=20mm
- STIRRUPS SHOULD HAVE STANDARD HOOK AS PER SP-34.
- THE DIFFERENCE IN LEVELS OF ADJACENT FOOTINGS SHALL NOT BE GREATER THAN HALF THE CLEAR DISTANCE BETWEEN THEM.
- CORRELATE WITH THE RELEVANT DRAWINGS FOR THE NECESSARY DETAILS
- ANY DISCREPANCY FROM THE DRAWING SHALL BE BROUGHT TO THE NOTICE OF CONSULTANTS.
- THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DWG.

TITLE:

COLUMNS AND FOOTINGS DETAILS

SIGNATURE OF STRUCTURAL ENGINEER

PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT IN SY. NOS. 11, 12, 14 TO 18 & 294(P) SITUATED AT CHERLAPALLY VILLAGE, GHMC, KAPRA CIRCLE, KAPRA MANDAL, MEDICAL MALKAJIRI DIST.

BELONGING TO:-
M/S. SHRI SOHAM MODI S/O
LATE SHRI SATISH MODI

NOTES

1. DO NOT SCALE THIS DRAWING. FOLLOW FIGURED DIMENSIONS.
2. ALL DIMENSIONS ARE IN METRES & MILLIMETRES ONLY.
3. USE VIBRATED REINFORCED CONCRETE OF MIX M25 FOR FOOTINGS AND COLUMNS CONFORMING TO IS:456-2000.
4. USE HYSD BARS OF Fe-500 AS PER IS:1786-1985.
5. MIN. LAP LENGTHS RECOMMENDED FOR REINFORCEMENT.

BAR DIA	DEVELOPMENT LENGTH (LD mm)
#8	380
#10	535
#12	600
#16	750
#20	990
#25	1200

6. NOT MORE THAN 33% OF COLUMN REINFORCEMENT SHALL BE LAPPED AT A PARTICULAR LOCATION.
7. THE STRUCTURE IS DESIGNED FOR $g_{max}=4.0/0.85$
8. S.B.C. OF SOIL IS ADOPTED AS 300 kN/SqM
9. PROVIDE CLEAR COVER FOR FOOTINGS=50mm, COLUMNS=40mm BEAM STIRRUPS=20mm, SLAB=20mm
10. STIRRUPS SHOULD HAVE STANDARD HOOK AS PER SP-34.
11. THE DIFFERENCE IN LEVELS OF ADJACENT FOOTINGS SHALL NOT BE GREATER THAN HALF THE CLEAR DISTANCE BETWEEN THEM.
12. CORRELATE WITH THE RELEVANT DRAWINGS FOR THE NECESSARY DETAILS
13. ANY DISCREPANCY FROM THE DRAWING SHALL BE BROUGHT TO THE NOTICE OF CONSULTANTS.
14. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DWG.

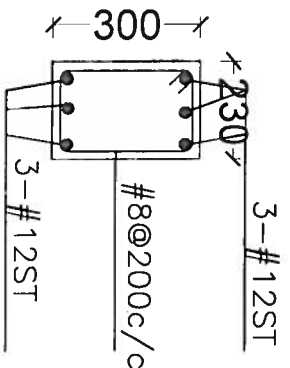
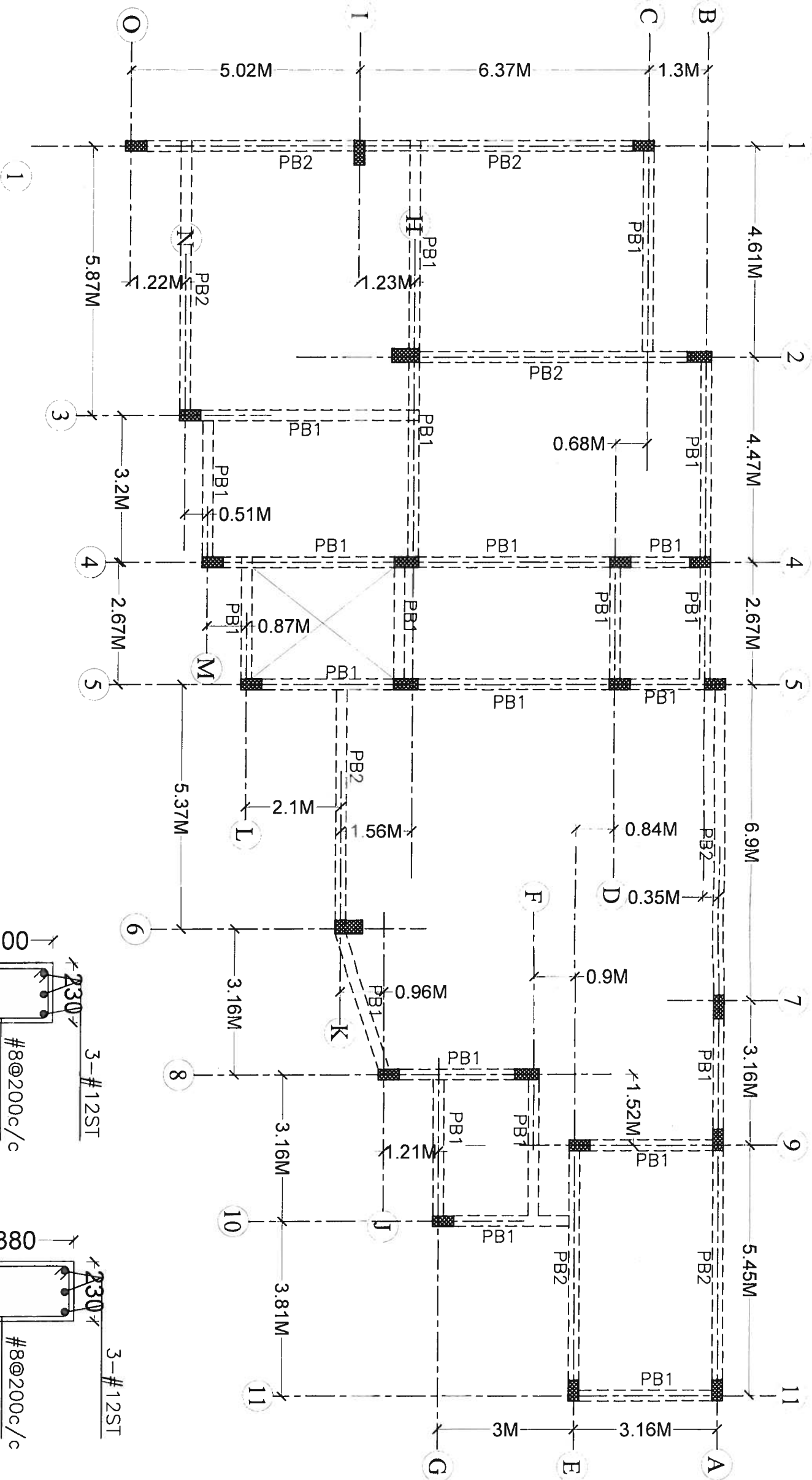
NORTH



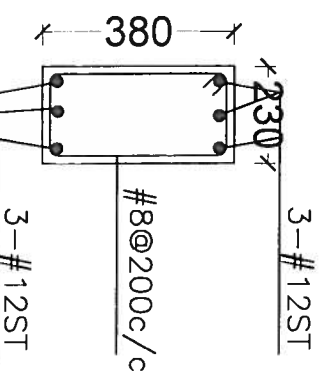
TITLE

PLINTH BEAMS & DETAILS

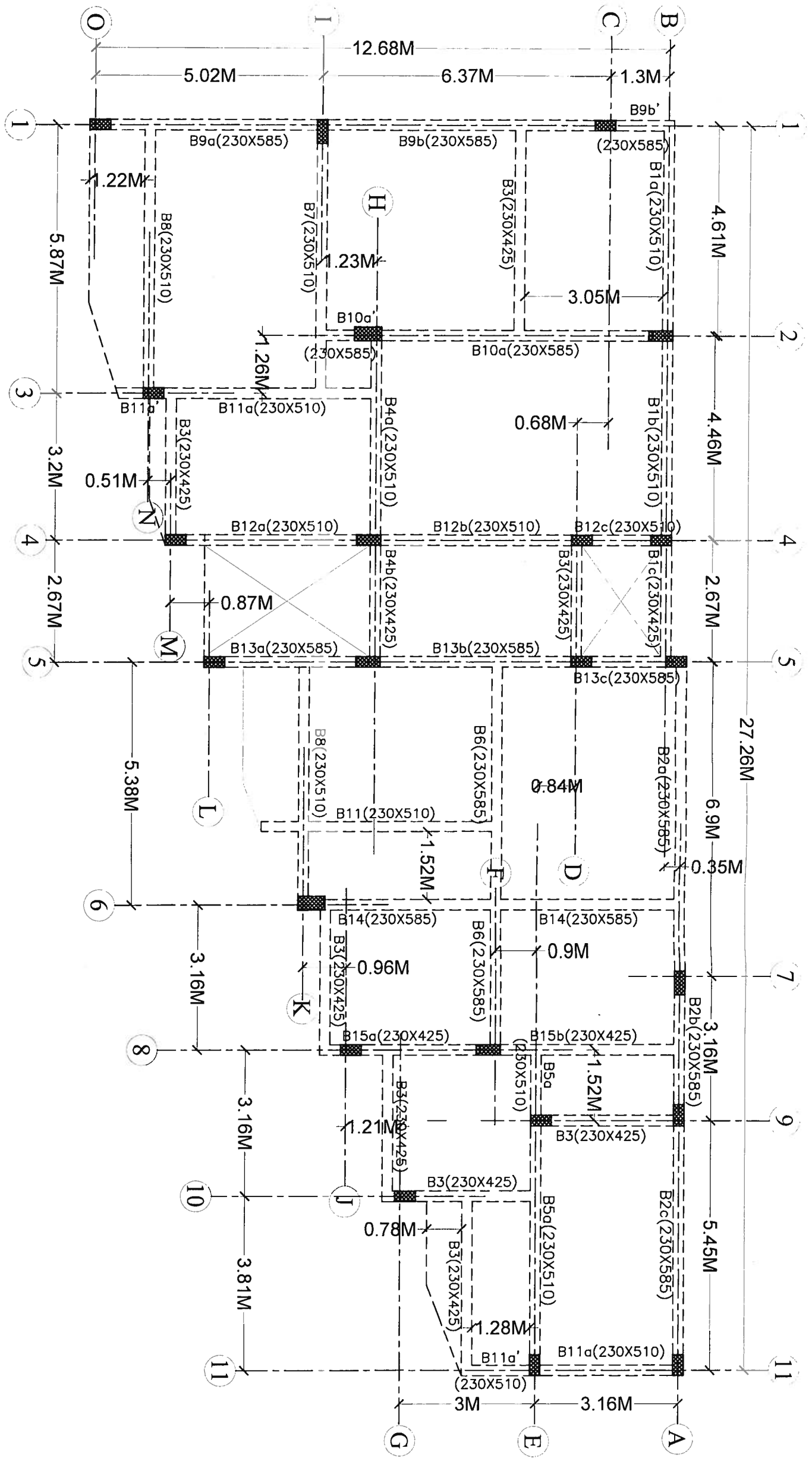
SIGNATURE OF STRUCTURAL ENGINEER



PB1 (230x300)



PB2 (230x380)



125mm Thick slab uniform
unless otherwise mentioned

PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT IN SY.Nos.11,12,14 TO 18 & 294(P) SITUATED AT CHERLAPALLY VILLAGE,GHMC, KAPRA CIRCLE,KAPRA MANDAL, MEDCHAL MALKAJGIRI DIST. BELONGING TO:- M/S.SHRI SOHAM MODI S/O LATE SHRI SATISH MODI

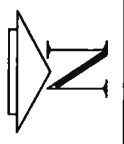
NOTES:-

1. DO NOT SCALE THIS DRAWING. FOLLOW FIGURED DIMENSIONS
2. ALL DIMENSIONS ARE IN Metres & Millimetres ONLY.
3. USE VIBRATED REINFORCED CONCRETE OF MIX M25 FOR FOOTINGS AND COLUMNS CONFORMING TO IS:456-2000
4. USE HRSD BARS OF Fe-500 AS PER IS:1786-1985.
5. MIN. LAP LENGTHS RECOMMENDED FOR REINFORCEMENT.

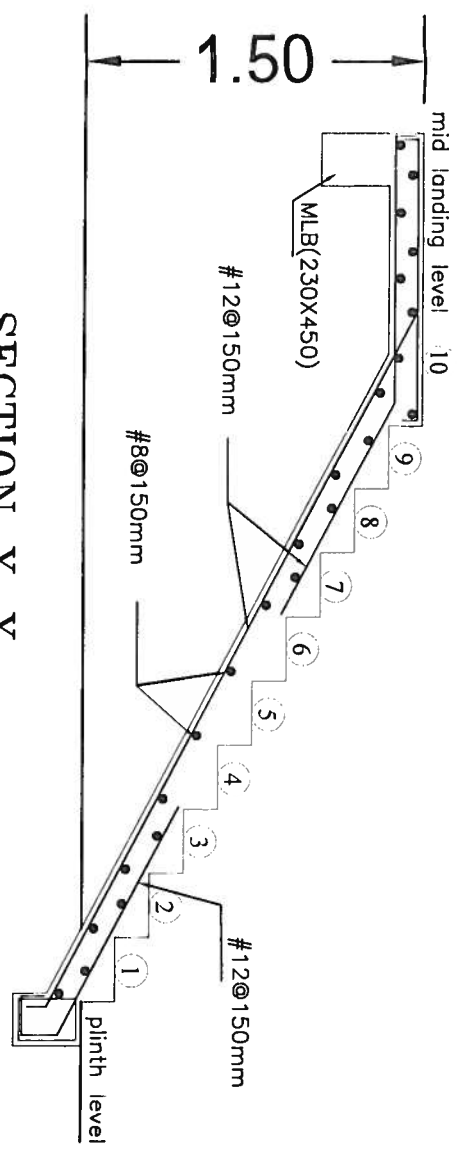
BAR DIA	DEVELOPMENT LENGTH (Ld mm)
#8	380
#10	535
#12	600
#16	750
#20	900
#25	1200

6. NOT MORE THAN 33% OF COLUMN REINFORCEMENT SHALL BE LAPPED AT A PARTICULAR LOCATION.
7. THE STRUCTURE IS DESIGNED FOR SEISMIC ZONE III
8. S.B.C. OF SOIL IS ADOPTED AS 300 kN/Sqm
9. PROVIDE CLEAR COVER FOR FOOTINGS=50mm, COLUMNS=40mm, BEAM STRIRUPS=20mm, SLAB=20mm
10. STRIRUPS SHOULD HAVE STANDARD HOOK AS PER SP-34.
11. THE DIFFERENCE IN LEVELS OF ADJACENT FOOTINGS SHALL NOT BE GREATER THAN HALF THE CLEAR DISTANCE BETWEEN THEM.
12. CORRELATE WITH THE RELEVANT DRAWINGS FOR THE NECESSARY DETAILS
13. ANY DISCREPANCY FROM THE DRAWING SHALL BE BROUGHT TO THE NOTICE OF CONSULTANTS.
14. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DWG.

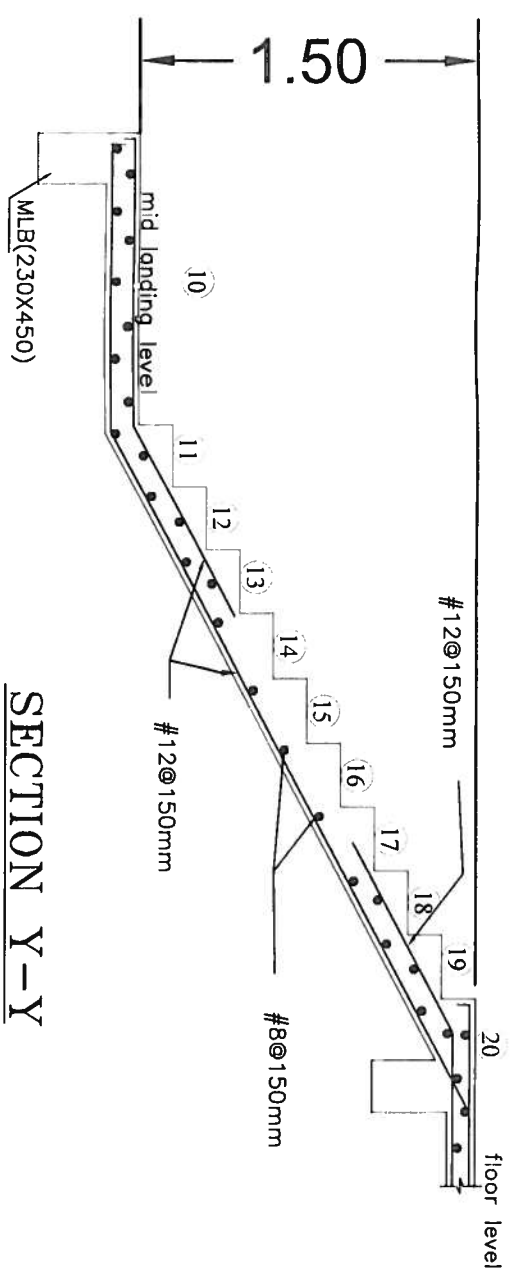
NORTH



TITLE
BEAM LAYOUT (STILT FLOOR)
SIGNATURE OF STRUCTURAL ENGINEER



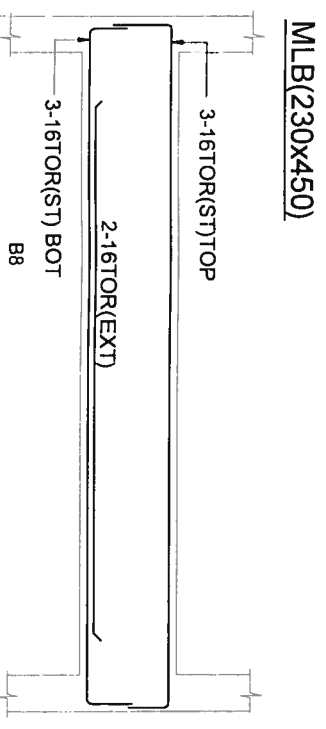
SECTION X-X



SECTION Y-Y

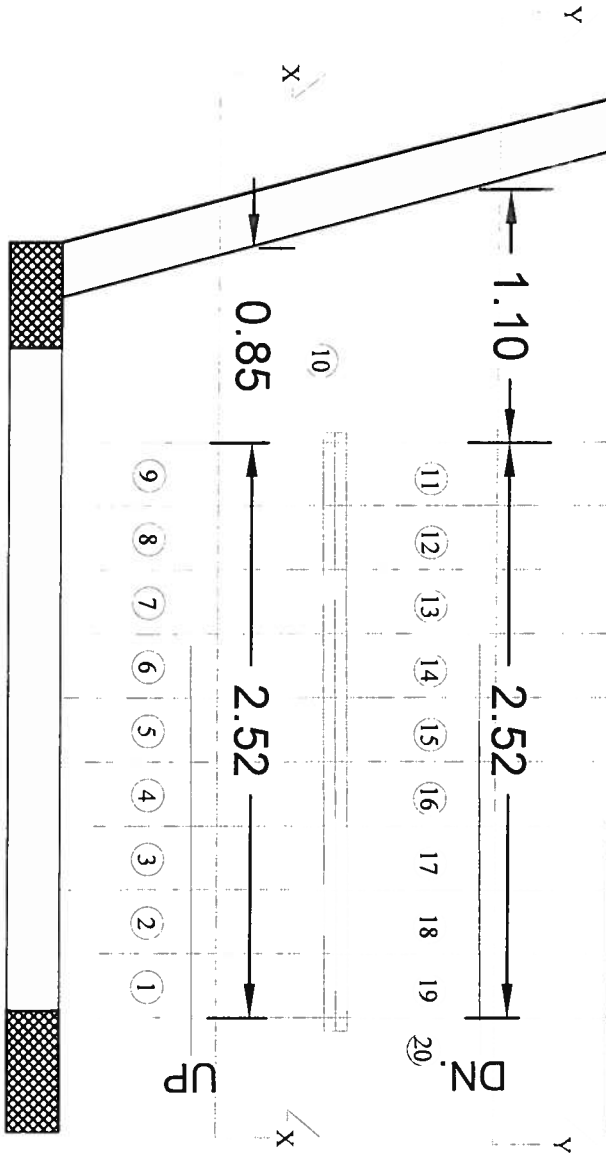
REINFORCEMENT DETAILS

WAIST SLAB THICKNESS - 150MM
 12 TOR @150 mm C/C Main Steel
 8TOR @150mm C/C Distribution
 Tread - 280 mm
 Riser - 150 mm



Stirrups:- 8TOR@150

PLAN



PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT IN SY. Nos. 11,12,14 TO 18 & 294(P) SITUATED AT CHERLAPALLY VILLAGE, GHMC, KAPRA CIRCLE, KAPRA MANDAL, MEDCHAL MALKAJGIRI DIST.
 BELONGING TO:-
 M/S SHRI SOHAM MODI S/O LATE SHRI SATISH MODI

NOTES:

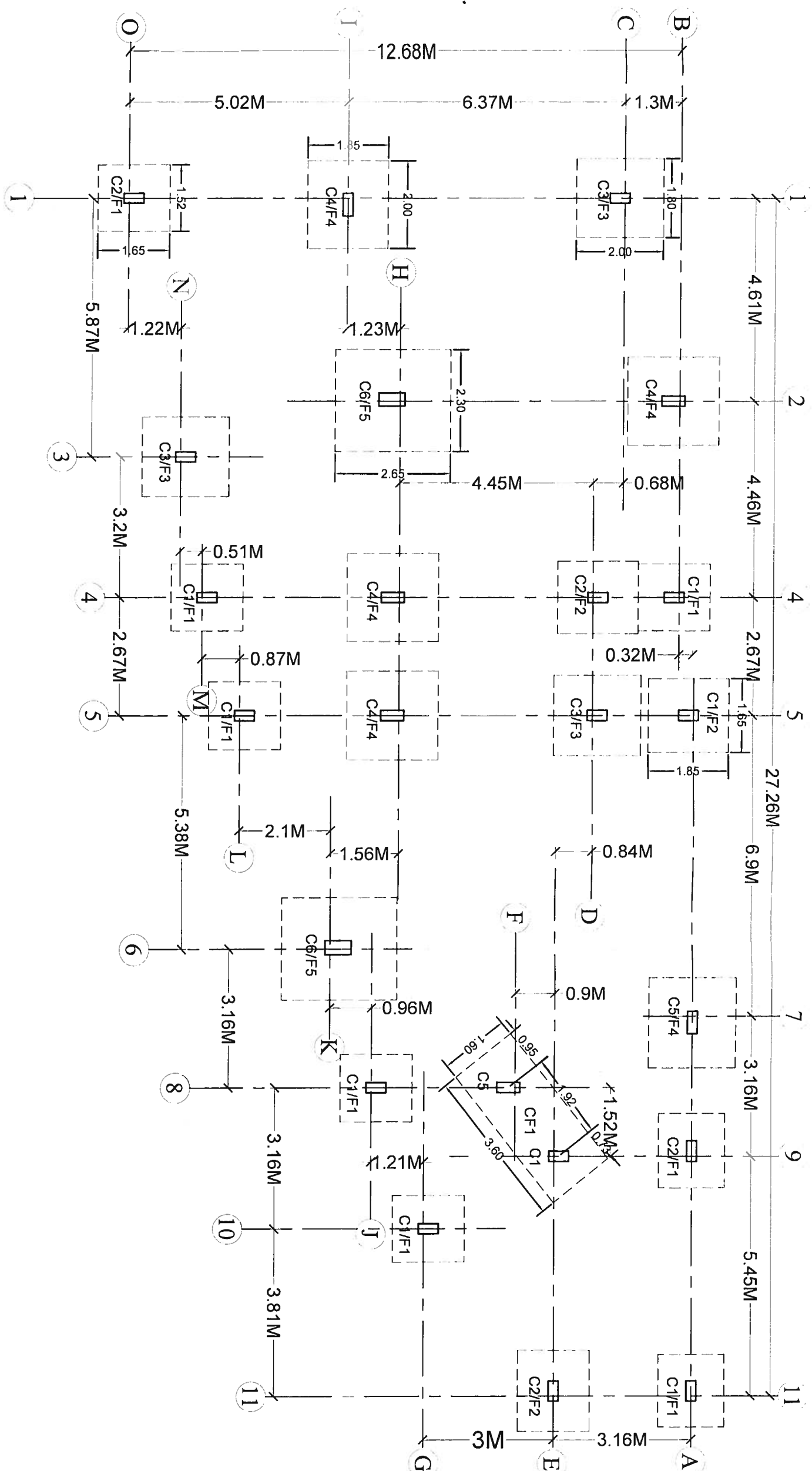
- DO NOT SCALE THIS DRAWING. FOLLOW FIGURED DIMENSIONS.
- ALL DIMENSIONS ARE IN METRES/MILLIMETRES ONLY.
- USE VIBRATED REINFORCED CONCRETE OF MIX M20 FOR FOOTING AND M25 FOR COLUMNS CONFORMING TO IS:456-2000.
- USE HYSD BARS OF Fe-500 AS PER IS:1786-1985.
- MIN. LAP LENGTHS RECOMMENDED FOR REINFORCEMENT.

BAR DIA	DEVELOPMENT LENGTH (Ld)
#8	380
#10	535
#12	800
#16	750
#20	990
#25	1200

- NOT MORE THAN 33% OF COLUMN REINFORCEMENT SHALL BE LAPPED AT A PARTICULAR LOCATION.
- THE STRUCTURE IS DESIGNED FOR STILT+4FLOORS
- S.B.C. OF SOIL IS ADOPTED AS 300 kN/Sqm
- PROVIDE CLEAR COVER FOR FOOTINGS=50mm, COLUMNS=40mm BEAM STIRRUPS=25mm, SLAB=20mm
- STIRRUPS SHOULD HAVE STANDARD HOOK AS PER SP-34.
- THE DIFFERENCE IN LEVELS OF DEPTH OF ADJACENT FOOTINGS SHALL NOT BE GREATER THAN HALF THE CLEAR DISTANCE BETWEEN THEM.
- CORRELATE WITH THE RELEVANT DRAWINGS FOR THE NECESSARY DETAILS
- ANY DISCREPANCY FROM THE DRAWING SHALL BE BROUGHT TO THE NOTICE OF CONSULTANTS.
- THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DWG.

TITLE:
 STAIRCASE REINFORCEMENT DETAILS
 (STILT FLOOR&TYPICAL FLOOR)

SIGNATURE OF STRUCTURAL ENGINEER



PLAN SHOWING THE PROPOSED RESIDENTIAL APARTMENT IN SY. Nos. 11, 12, 14 TO 18 & 29A(P) SITUATED AT CHERLAPALLY VILLAGE, GHMC, KAPRA CIRCLE, KAPRA MANDAL, MEDCHAL, MALKAJGIRI DIST.

BELONGING TO:-
M/S SHRI SOHAM MODI S/O
LATE SHRI SATISH MODI

NOTES

1. DO NOT SCALE THIS DRAWING. FOLLOW FIGURED DIMENSIONS.
2. ALL DIMENSIONS ARE IN METRES & MILLIMETRES ONLY.
3. USE VIBRATED REINFORCED CONCRETE OF MIX M25 FOR FOOTINGS AND COLUMNS CONFORMING TO IS:456-2000.
4. USE HYSD BARS OF Fe-500 AS PER IS:1786-1985.
5. MIN. LAP LENGTHS RECOMMENDED FOR REINFORCEMENT.

BAR DIA	DEVELOPMENT LENGTH (Ld in mm)
#8	380
#10	535
#12	800
#16	750
#20	990
#25	1200

6. NOT MORE THAN 33% OF COLUMN REINFORCEMENT SHALL BE LAPPED AT A PARTICULAR LOCATION.
7. THE STRUCTURE IS DESIGNED FOR 7713.47 DOORS
8. S.B.C. OF SOIL IS ADOPTED AS 300 kN/SqM
9. PROVIDE CLEAR COVER FOR FOOTINGS=50mm, COLUMNS=40mm BEAM STIRRUPS=20mm, SLAB=20mm
10. STIRRUPS SHOULD HAVE STANDARD HOOK AS PER SP-34.
11. THE DIFFERENCE IN LEVELS OF ADJACENT FOOTINGS SHALL NOT BE GREATER THAN HALF THE CLEAR DISTANCE BETWEEN THEM.
12. CORRELATE WITH THE RELEVANT DRAWINGS FOR THE NECESSARY DETAILS
13. ANY DISCREPANCY FROM THE DRAWING SHALL BE BROUGHT TO THE NOTICE OF CONSULTANTS.
14. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DWG.

NORTH



TITLE

MARKING PLAN

SIGNATURE OF STRUCTURAL ENGINEER