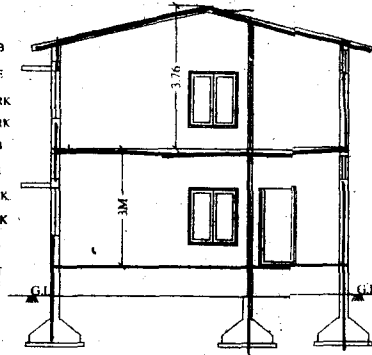


FRONT ELEVATION

R.C.C.SLAB  
SUNSHADE  
WOODWORK  
BRICKWORK  
R.C.C.SLAB  
SUNSHADE  
WOODWORK  
BRICKWORK  
FLOORING  
BASEMENT



SECTION AT 'SS'



The Builder/Contractor should provide: 1. Mix, Spec, Brick, Rops Slabs, Earth Motion and Gravel etc. from quarry licensed Builders with "ROYALTY TRANSIT FORM" issued by Mines and Geology Department and copy of the Proceedings shall be sent to the Assistant Director, Mines and Geology of the District.

Permission granted subject to the provisions of the Urban Land (Ceiling & Regulations) Act, 1978; Vide Proceedings No. BA/G 27/153/2007-2008 Date: 26.01.2008 Amount Collected Rs: 10,916.69 the permission sanctioned is valid upto 30.01.10 Vide Receipt No. 136123 Dt: 16.01.2008

PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:49, IN SURVEY NOS. 291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORTION, ADMINISTRATIVE ZONE, KAPRA R. R. DIST. BELONGING TO:

M/S MEHTA & MODI HOMES, REP.BY ITS MANAGING PARTNER MR. SOHAM MODI S/O. MR. SATISH MODI

SPECIFICATIONS

- |                        |                 |
|------------------------|-----------------|
| 1. FOUNDATION          | : C.C.BED       |
| 2. BASEMENT            | : C.R.S MASONRY |
| 3. SUPERSTRUCTURE      | : BRICK MASONRY |
| 4. COLUMNS,BEAMS,SLABS | : R.C.C. 1:2:4  |
| 5. PLASTERING          | : C.M IN 1:4    |
| 6. FLOORING            | : MARBLE        |
| 7. DOORS & WINDOWS     | : TEAK WOOD     |

REFERENCE: JOINERY

PROPOSED	D : 1.06X2.0	W : 1.8X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.8X1.2
SCALE : 1:100 & 1:200	D2 : 0.76X2.0	W2 : 1.2X1.2
	V : 0.92X0.61	W3 : 1.8X.91

AREAS

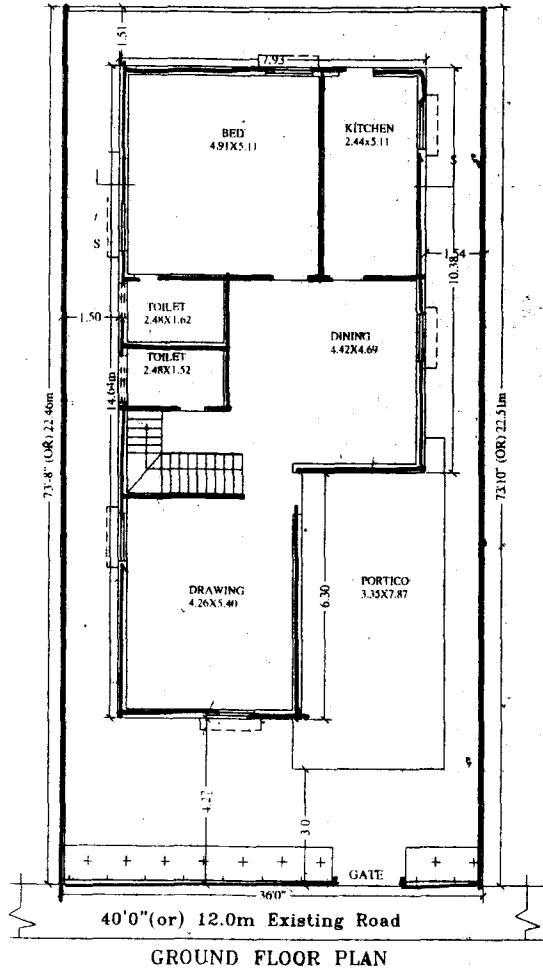
TOTAL PLOT AREA	: 246.65 Sq.Mtrs (OR) 298.88Sq.Yds
GROUND PLINTH	: 110.05 Sq.mtrs
FIRST PLINTH	: 86.46 Sq.mtrs
TOTAL PLINTH AREA	: 196.51 Sq.mtrs
PORTICO	: 27.02 Sq.mtrs
OPEN AREA	: 109.58 Sq.mtrs
COMPOUND WALL	: 67.04 Rmtr

OWNERS SIGN

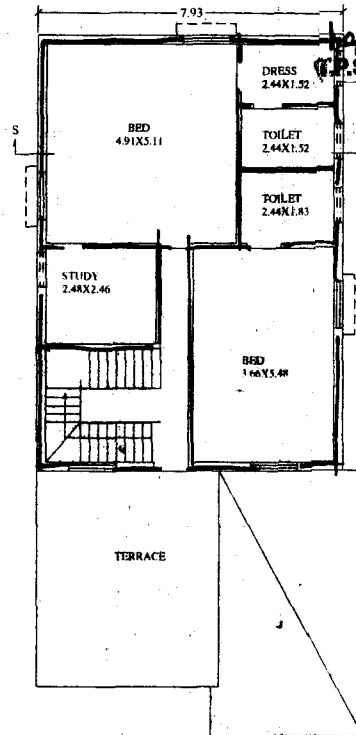
ARCHITECT SIGN

For Mehta & Modi Homes  
*Signature*  
Partner

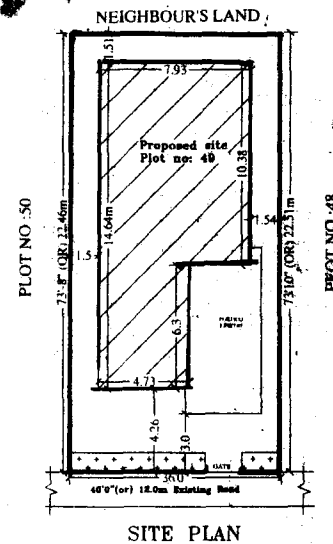
*Signature*  
M. RAJA RAO (A) Arch. (D Arch. E)  
122-123, Park Street, Hyderabad-500048  
Graduate Architectural Engineer  
Address: 122-123, Park Street, Hyderabad-500048  
Mobile: 984912885, 771343500



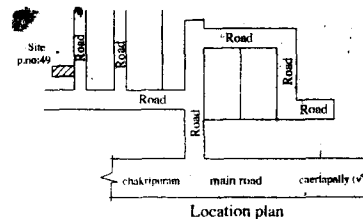
GROUND FLOOR PLAN



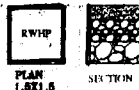
FIRST FLOOR PLAN

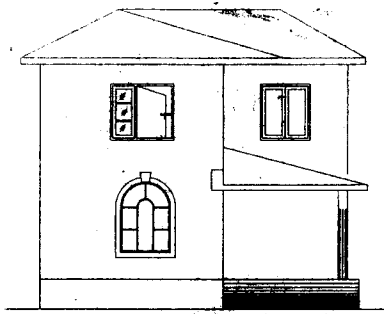


SITE PLAN

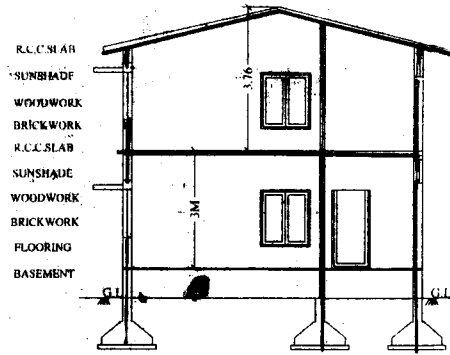


Location plan





FRONT ELEVATION

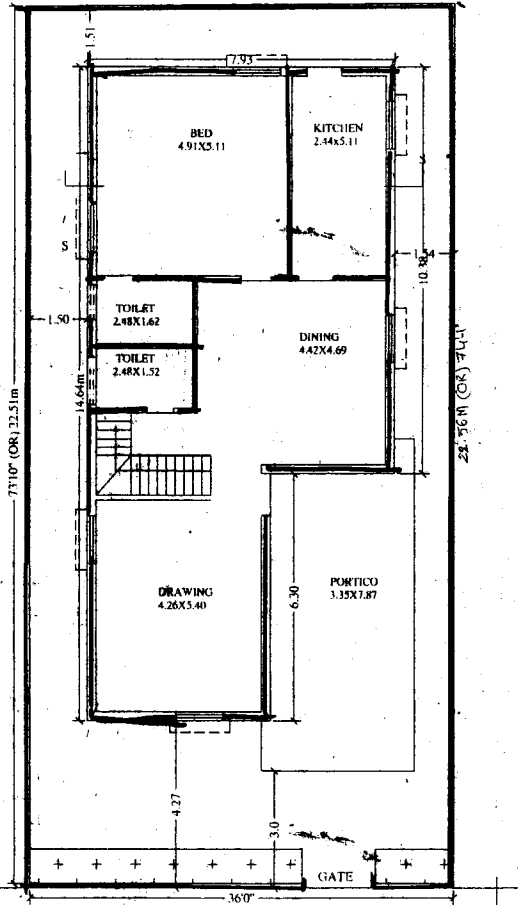


SECTION AT 'SS'

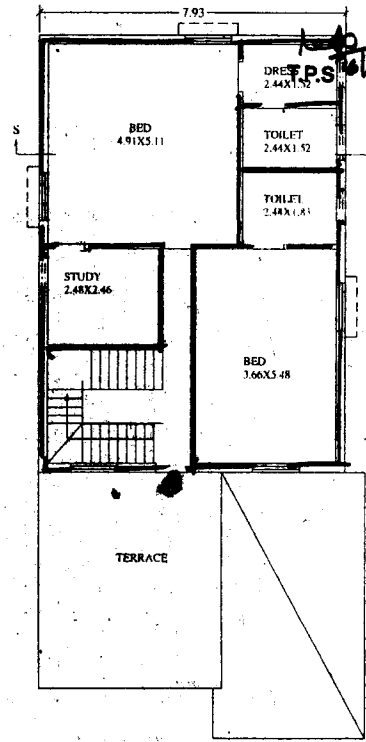


The Builder/Contractor should retain the Metal, Stone, Brick, Slabs, Earth Mortar and Gravel etc. from every house holder with "ROYALTY TRANSIT FORM" issued by Mines and Geology Department and copy of the Proceedings shall be sent to the Assistant Director, Mines and Geology of the District.

Permission granted subject to the provisions of the Urban Land (Ceiling & Regulations) Act, 1976: Vide Proceedings No. BA/G3/156/2007-2008  
 Date: 14.08.2007 Amount Collected Rs: 11,234.50  
 the permission sanctioned is valid upto G.E.O.P. 14  
 Vide Receipt No: 196128 Dt: 16.08.2007

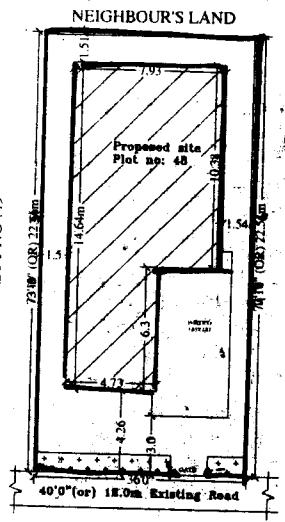


GROUND FLOOR PLAN

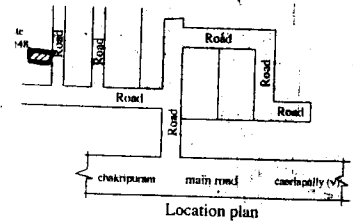


FIRST FLOOR PLAN

*S. No. 48*  
 Deputy Commissioner  
 Kapra Administrative Zone,  
 Greater Hyderabad Municipal Corporation



SITE PLAN



Location plan

PLAN SHOWING THE PROPOSED GROUND FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:48, IN SURVEY NOS. 291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORTION, ADMINISTRATIVE ZONE, KAPRA R. R. DIST.

BELONGING TO:  
 M/S MEHTA & MODI HOMES, REP. BY ITS MANAGING PARTNER  
 MR. SOHAM MODI S/O. MR. SATISH MODI

SPECIFICATIONS

1. FOUNDATION	C.C.BED
2. BASEMENT	C.R.S MASONRY
3. SUPERSTRUCTURE	BRICK MASONRY
4. COLUMNS, BEAMS, SLABS	R.C.C. 1:2:4
5. PLASTERING	C.M IN 1:4
6. FLOORING	MARBLE
7. DOORS & WINDOWS	TEAK WOOD

REFERENCE: JOINERY

PROPOSED	D : 1.06X2.0	W : 1.8X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
SCALE : 1:100	D2 : 0.76X2.0	W2 : 2X1.2
& 1:200	V : 0.92X0.61	W3 : 1.0X1.0

AREAS

TOTAL PLOT AREA	:247.35 Sq.Mtrs (OR) 296.44Sq.Yds
GROUND PLINTH	110.05 Sq.mtrs
FIRST PLINTH	66.46 Sq.mtrs
TOTAL PLINTH AREA	196.51 Sq.mtrs
PORTICO	27.02 Sq.mtrs
OPEN AREA	110.26 Sq.mtrs
COMPOUND WALL	67.04 Rmtr

OWNERS SIGN

ARCHITECT SIGN

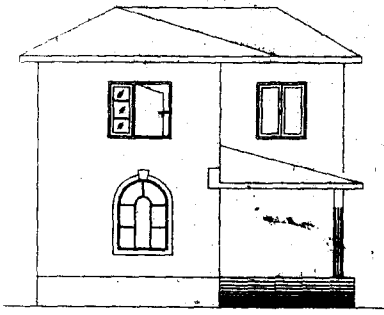
For Mehta & Modi Homes  
*[Signature]*  
 Partner

*[Signature]*  
 M. PAJAJ RAO A. Iyer (In Arch. B)  
 Licensed Surveyor No. 1916/1999  
 Greater Hyderabad Municipal Corporation  
 Chherlapally, Cherlapally, Hyderabad-50  
 Andhra Pradesh  
 Cell: 984813885, 21134900



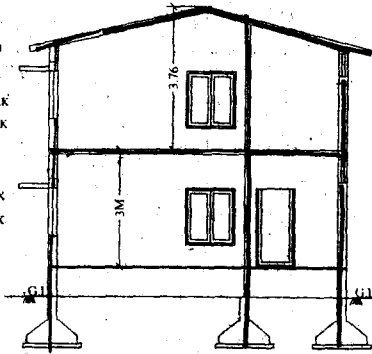
The Building Inspector should obtain the Metal, Stone, Bricks, Slabs, etc. Machine and General etc. from quarry license holders with **ROYALTY TRANSIT FORM** issued by Mines and Geology Dept. and copy of the Proceedings shall be sent to the Asst. Director, Mines and Geology of the District.

Permission granted subject to the provisions of the Urban Land Ceiling & Regulations Act, 1976. Vide Proceedings No. BAVG3/159/2007/2008  
 Date: 26-05-2007 Amount Collected: Rs. 10,923.00  
 the permission sanctioned is valid upto 26-05-10  
 Vide Receipt No: 19613/ DR 14-02-10



FRONT ELEVATION

R.C.C.SLAB  
 SUNSHADE  
 WOODWORK  
 BRICKWORK  
 R.C.C.SLAB  
 SUNSHADE  
 WOODWORK  
 BRICKWORK  
 FLOORING  
 BASEMENT

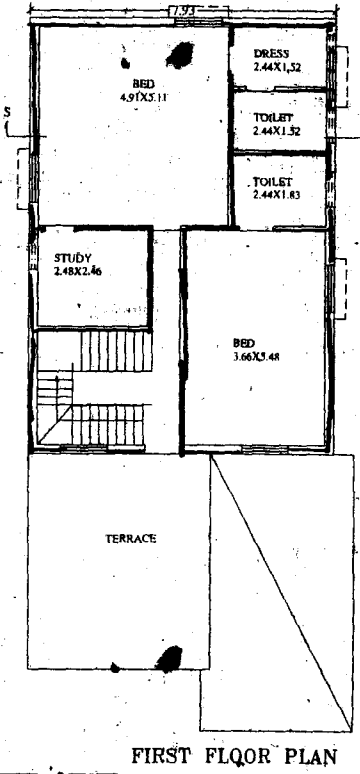
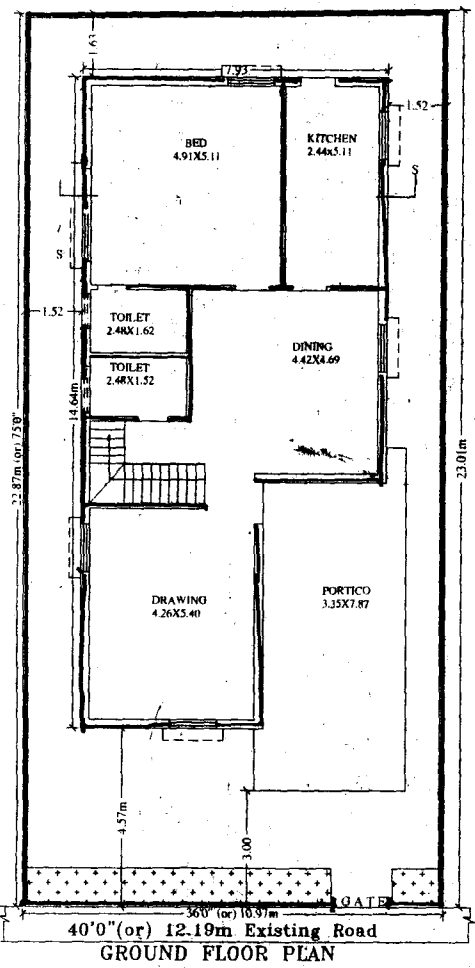


SECTION AT 'SS'

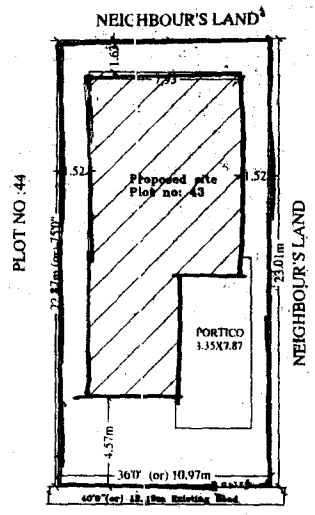
*T.P.S. 414*  
*T.P.G. 200*  
 Deputy Commissioner  
 Kapra Administrative Zone  
 Greater Hyderabad Municipal Corporation

PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:43, IN SURVEY NOS. 291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORATION, ADMINISTRATIVE ZONE, KAPRA R. R. DIST.

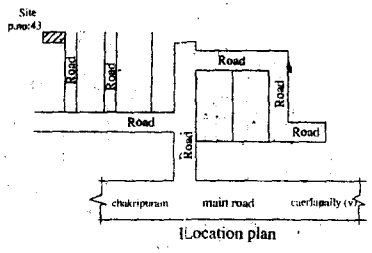
BELONGING TO:  
 M/S MEHTA & MODI HOMES, REP.BY ITS MANAGING PARTNER  
 MR. SOHAM MODI S/O. MR. SATISH MODI



FIRST FLOOR PLAN



SITE PLAN



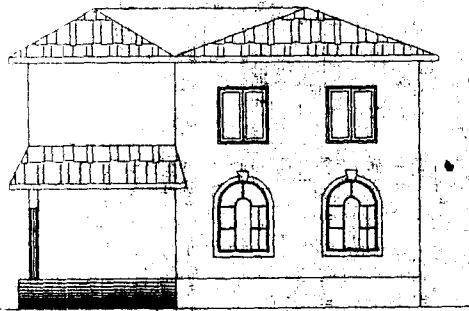
Location plan

SPECIFICATIONS		
1. FOUNDATION	:	C.C.BED
2. BASEMENT	:	C.R.S MASONRY
3. SUPERSTRUCTURE	:	BRICK MASONRY
4. COLUMNS, BEAMS, SLABS	:	R.C.C. 1:2:4
5. PLASTERING	:	C.M IN 1:4
6. FLOORING	:	MARBLE
7. DOORS & WINDOWS	:	TEAK WOOD

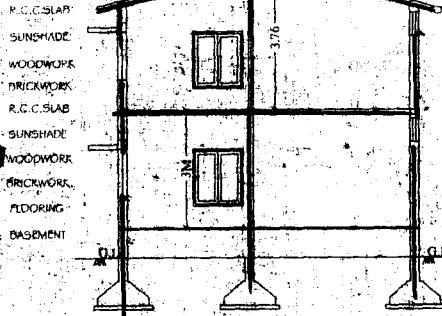
REFERENCE:		JOINERY
PROPOSED	≡	D : 1.06X2.0 W : 1.8X1.2
EXISTING	≡	D1 : 0.91X2.0 W1 : 1.6X1.2
SCALE : 1:100		
1:200		
V : 0.92X0.61 W3 : 1.8X.91		

AREAS	
TOTAL PLOT AREA	:258.40 Sq.mtrs (OR) 308.00Sq.Yds
GROUND PLINTH	112.27 Sq.mtrs
FIRST PLINTH	88.68 Sq.mtrs
TOTAL PLINTH AREA	200.95 Sq.mtrs
PORTICO	30.13 Sq.mtrs
OPEN AREA	118.00 Sq.mtrs
COMPOUND WALL	88.30 Rmtr

OWNERS SIGN	ARCHITECT SIGN
<p>For Mehta &amp; Modi Homes</p> <p>Partner</p>	<p>M. S. A. P. A. O. Archt. (I) Archt. E.I.        Lic. No. 100/11/1997/Arch.        Greater Hyderabad Municipal Corporation        Chakravarthi Main Road        Aurangabad        Call 2550-0055 2778000</p>



FRONT ELEVATION



SECTION AT

R.C.C.SLAB  
SUNSHADE  
WOODWORK  
BRICKWORK  
R.C.C.SLAB  
SUNSHADE  
WOODWORK  
BRICKWORK  
FLOORING  
BASEMENT

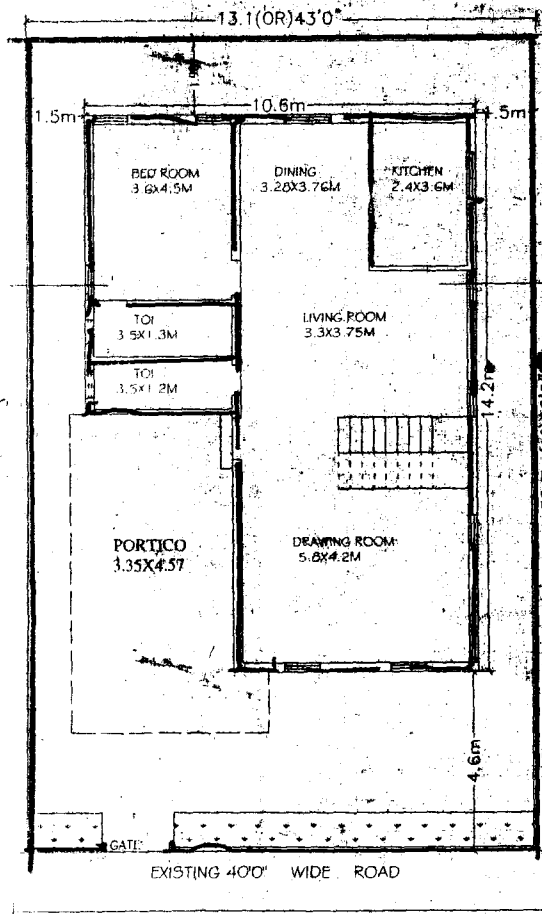


The Commissioner of the Greater Hyderabad Municipal Corporation, Hyderabad, has sanctioned the plan for the construction of a residential building on Plot No. 44, Survey No. 1294, situated at Silver Oak Bungalow, Cheruvu (V), Greater Hyderabad Municipal Corporation Administrative Zone Kapra, R.R. Dist. belonging to M/s Mehta & Modi Homes, Rep. by its Managing Partner Mr. Gohar Modi s/o Mr. Satish Modi.

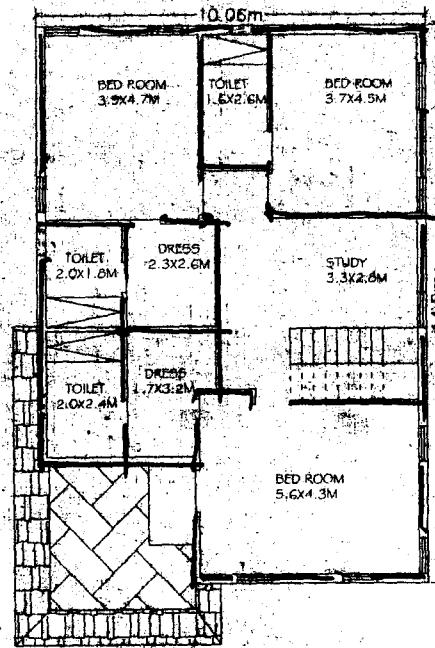
Permission granted subject to the provisions of the Urban Land (Ceiling & Regulations) Act, 1976, vide Proceedings No. 2065/115/1/2007-2008 dated 21.11.2007 and 25.07.2008. The permission is valid for 12 months from the date of issue of this order. The permission is subject to the provisions of the Urban Land (Ceiling & Regulations) Act, 1976, vide Proceedings No. 2065/115/1/2007-2008 dated 21.11.2007 and 25.07.2008.

Deputy Commissioner  
Kapra Administrative Zone  
Greater Hyderabad Municipal Corporation

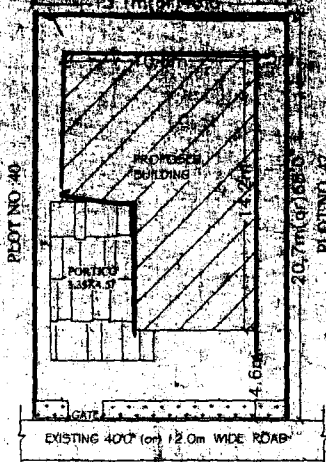
PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUILDING ON PLOT NO. 44, IN SURVEY NOS. 1294, SITUATED AT SILVER OAK BUNGALOW, CHERUVU (V), GREATER HYDERABAD MUNICIPAL CORPORATION ADMINISTRATIVE ZONE KAPRA, R. R. DIST. BELONGING TO M/S MEHTA & MODI HOMES, REP. BY ITS MANAGING PARTNER MR. GOHAR MODI S/O MR. SATISH MODI.



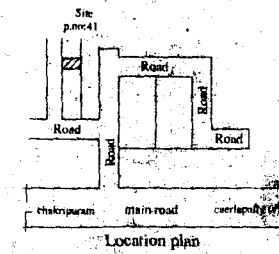
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SITE PLAN



Location plan

SPECIFICATIONS

1. FOUNDATION	C.C. BED
2. MASONRY	C.R.S. MASONRY
3. SUPERSTRUCTURE	BRICK MASONRY
4. COLUMNS, BEAMS, SLABS	R.C.C. LAB
5. PLASTERING	C.M. IN 4:4
6. FLOORING	MARBLE
7. DOORS & WINDOWS	TEAK WOOD

REFERENCE: JOINERY

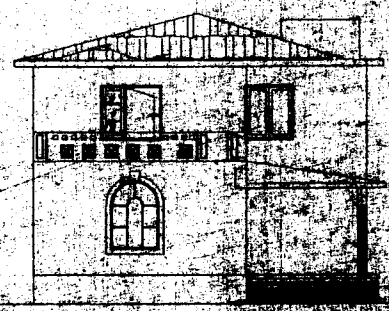
PROPOSED	D : 1.06X2.0	W : 1.6X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
SCALE	D2 : 0.76X2.0	W2 : 1.2X1.2
1:100&1:200	V : 0.92X0.61	W3 : 1.5X0.91

AREAS

TOTAL PLOT AREA	: 271.77Sq.Mtrs (OR) 324.88Sq.Yds
GROUND PLINTH	118.68 Sq.mtrs
FIRST PLINTH	130.52 Sq.mtrs
TOTAL PLINTH AREA	249.20 Sq.mtrs
PORTICO	37.20 Sq.mtrs
OPEN AREA	116.92 Sq.mtrs
COMPOUND WALL	67.68 Rmtr

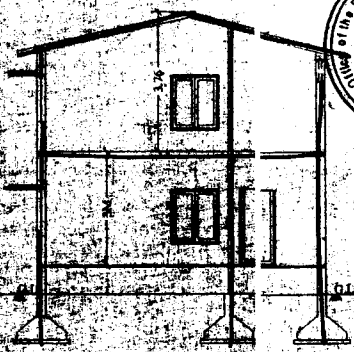
OWNERS SIGN: For Mehta & Modi Homes

ARCHITECT SIGN: M. RAJA RAO S. Arch. (R. Arch. B) License No. 115/1989, Hyderabad



FRONT ELEVATION

ROOF: R.C.C. WITH  
WOODEN  
TRUSS  
SUPPORTS  
WALLS: R.C.C. WITH  
WOODEN  
FRAMING  
FLOORING: R.C.C. WITH  
WOODEN  
FRAMING



SECTION AT 'S'

The holder/owner should obtain the Water, Sewer, Drain, Gas, Telephone, Cable, Electricity and other necessary services from the respective authorities and pay the charges therefor. The holder/owner should also obtain the necessary permissions from the concerned authorities for the proposed work.

Permitted to be used for the purpose of the Urban Land (Ceiling & Regulations) Act, 1966. Vide Proceedings No. 1000/2007-08. Date: 12/02/2008. For: M/S. MEHTA & MODI HOMES. The permission is valid for a period of 12 months from the date of issue.

Deputy Commissioner, Kapra Administrative Zone, Greater Hyderabad Municipal Corporation.

PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO. 50, IN SURVEY NOS. 1291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), KAPRA MUNICIPALITY, R. R. DIST.

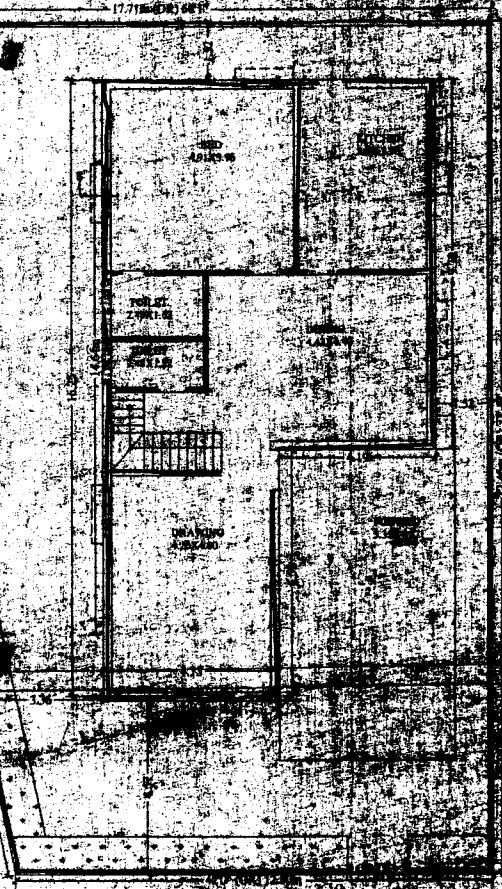
BELONGING TO: M/S MEHTA & MODI HOMES, REP BY ITS MANAGING PARTNER MR. SOHAM MODI S/O. MR. SATISH MODI

SPECIFICATIONS	
1. FOUNDATION	R.C.C. WITH
2. BASEMENT	R.C.C. MASONRY
3. SUPERSTRUCTURE	BRICK MASONRY
4. COLUMNS, BEAMS, SLABS	R.C.C. WITH
5. PLASTERING	C.M. IN 1:4
6. FLOORING	MARBLE
7. DOORS & WINDOWS	TEAK WOOD

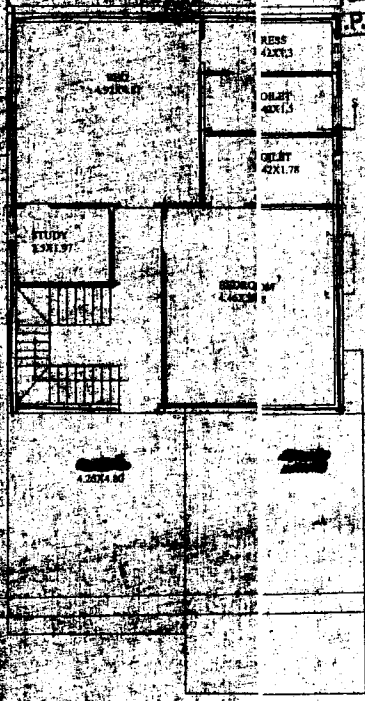
REFERENCE	JOINERY
PROPOSED	D 1: 1.0X2.0, W 1: 1.2X1.2
EXISTING	D1 1: 0.8X2.0, W1: 1.4X1.2
SCALE	DE 1: 0.7X2.0, WE 1: 1.2X1.2
1:1000:1:200	V 1: 0.8X1.1, W2: 1.4X1.2

AREAS	
TOTAL PLOT AREA	345.74 Sq. Mtrs (Sq. Ft.) 369,255 Sq. Yds
GROUND PLINTH	113.94 Sq. mtrs
FIRST PLINTH	66.21 Sq. mtrs
TOTAL PLINTH AREA	180.15 Sq. mtrs
PORCH	22.19 Sq. mtrs
OPEN AREA	225.50 Sq. mtrs
COMPOUND WALL	75.50 Sq. mtrs

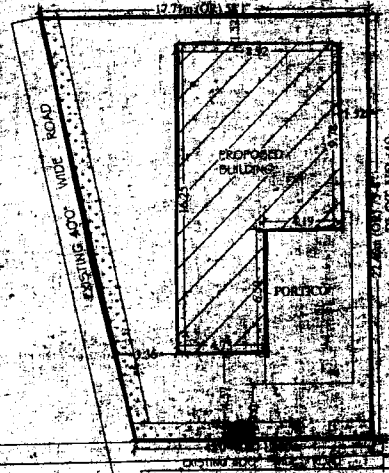
OWNERS SIGN	ARCHITECT SIGN
For Mehta & Modi Homes <i>[Signature]</i>	<i>[Signature]</i> M. RAJA RAO O. Arch. (B. Arch.) Licensed Surveyor No. G16134/99 Greater Hyderabad Municipal Corporation Administrative Zone, Kapra, Aditya Nagar, Etl, Hyderabad-1 Call: 9885158855, 27134900



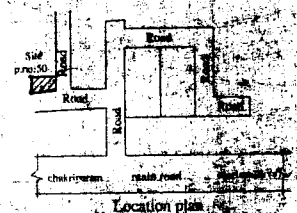
GROUND FLOOR PLAN



FIRST FLOOR PLAN

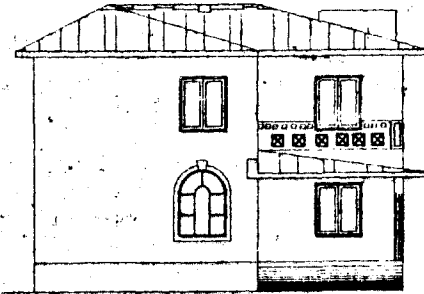


SITE PLAN

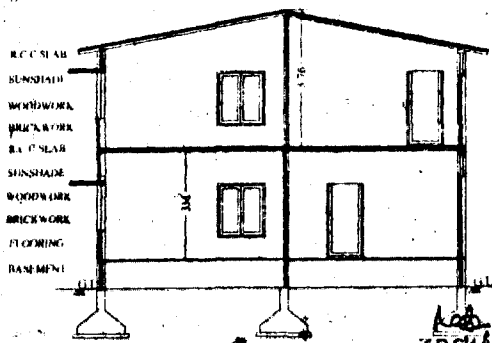


Location plan





FRONT ELEVATION



SECTION AT 'SS'

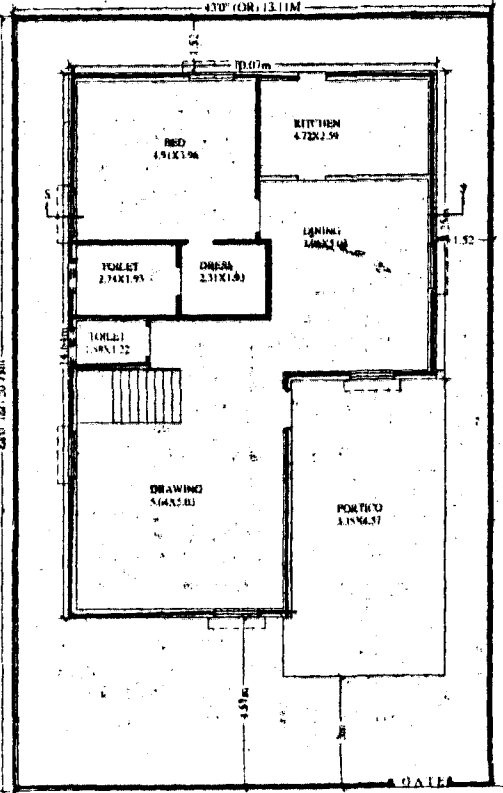
The Builder/Contractor should obtain the Water, Sewer, Power, Gas, Telephone and other services from the respective authorities and pay the charges therefor. The Building Department will not be responsible for the safety of the structure and the safety of the structure shall be the responsibility of the Builder/Contractor.

Permission granted subject to the provisions of the Urban Land (Ceiling & Regulations) Act, 1974. Vide Proceedings No. BAG/1/157/2001-2002. Date: 26.02.2007. Amount Collected Rs. 12,331.00. The permission sanctioned is valid upto 30.06.2010. Vide Receipt No. 19613/07 Dt. 18.03.07

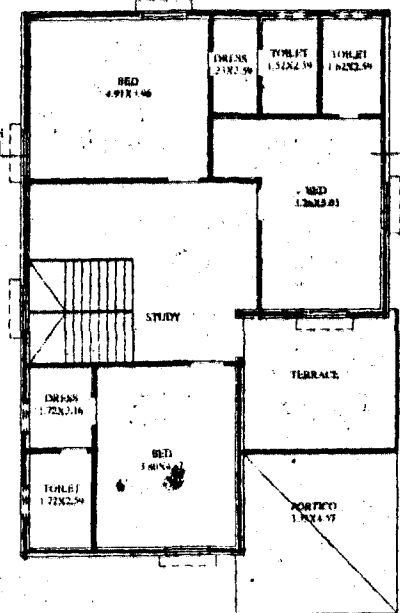
PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:38, IN SURVEY NOS. 291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORATION, ADMINISTRATIVE ZONE, KAPRA R. R. DIST. BELONGING TO:

M/S MEHTA & MODI HOMES, REP. BY ITS MANAGING PARTNER MR. SOHAM MODI S/O. MR. SATISH MODI

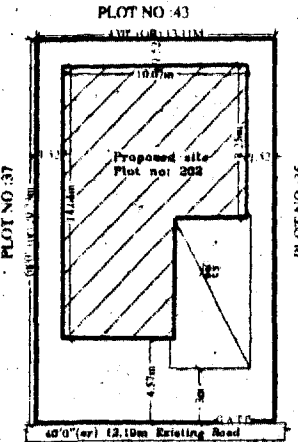
Deputy Commr. Kapra Adminstr. Greater Hyderabad M.C.



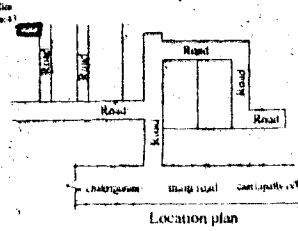
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SITE PLAN



Location plan

SPECIFICATIONS

1. FOUNDATION	C.C.BED
2. BASEMENT	C.R.S MASONRY
3. SUPERSTRUCTURE	BRICK MASONRY
4. COLUMNS, BEAMS, SLABS	R.C.C. 1:2:4
5. PLASTERING	C.M IN 1:4
6. FLOORING	MARBLE
7. DOORS & WINDOWS	TEAK WOOD

REFERENCE: JOINERY

PROPOSED	D : 1.06X2.0	W : 1.8X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
SCALE : 1:100 & 1:200	D2 : 0.76X2.0	W2 : 1.2X1.2
	V : 0.92X0.61	W3 : 1.0X1.0

AREAS

TOTAL PLOT AREA	: 188.10 Sq.Mtrs (OR) 225.00 Sq.Yds
GROUND PLINTH	118.43 Sq.mtrs
FIRST PLINTH	130.50 Sq.mtrs
TOTAL PLINTH AREA	248.93 Sq.mtrs
PORTICO	31.58 Sq.mtrs
OPEN AREA	69.87 Sq.mtrs
COMPOUND WALL	67.68 Rmtr

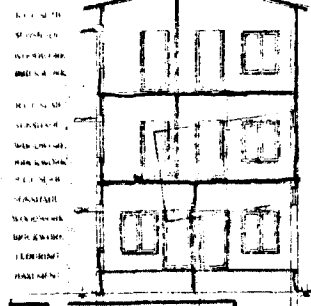
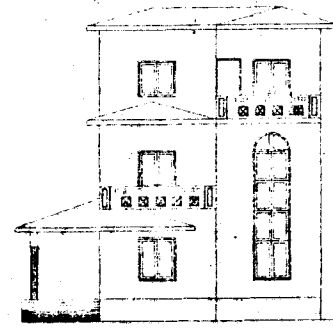
OWNERS SIGN ARCHITECT SIGN

For Mehta & Modi Homes  
  
 Partner



PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:59, FORMING A PART OF SURVEY NOS.291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORATION, ADMINISITRATIVE ZONE, KAPRA, R.R.DIST., BELONGING TO:

M/S MEHTA & MODI HOMES, REP BY ITS MANAGING PARTNER MR. SOHAM MODI S/O. MR. SATISH MODI



THE PERMISSION IS ACCORDED UP TO GROUND FLOOR SLAB LEVEL ONLY. AFTER COMPLETION OF GROUND FLOOR SLAB, THE APPLICANT SHALL OBTAIN CLEARANCE H.O.C FROM THIS MUNICIPALITY TO PROCEED FURTHER CONSTRUCTION OF FIRST & SECOND FLOORS.

The height/structure shall have the Roof, Base, Beam, Slab, etc. each above and below the floor level and "NOT TO EXCEED" level by more than 100mm (10 CM) above the floor level and 100mm (10 CM) below the floor level.

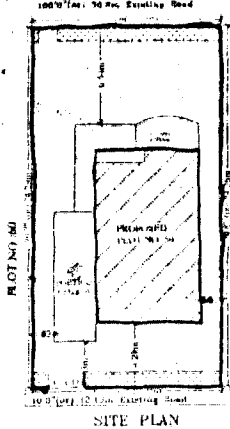
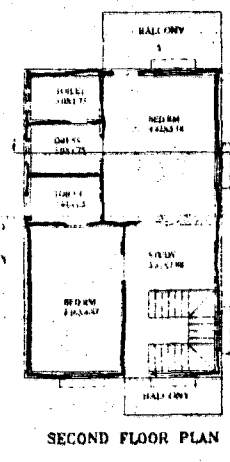
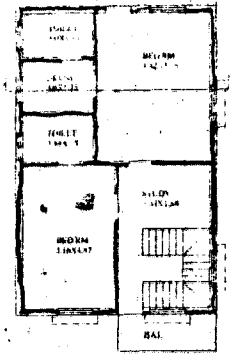
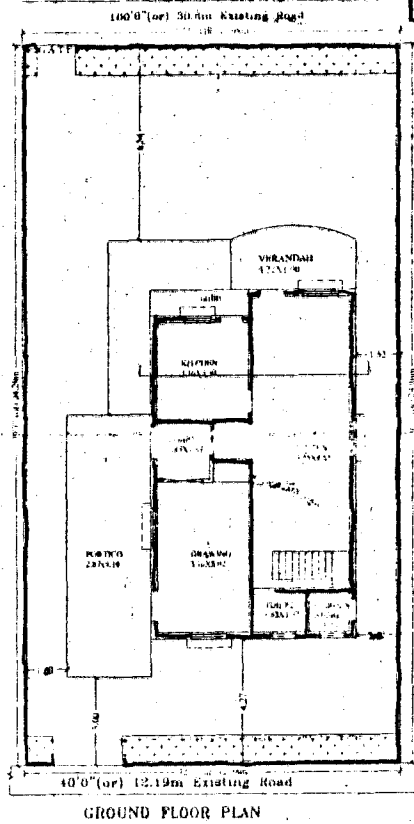
Permission granted subject to the provisions of the Urban Land (Ceiling & Regulation) Act, 1976, and Hyderabad (U.L.C.R.) Act, 2007.

Date: 24.05.2018

The permission is valid for a period of 12 months from the date of issue.

This is only a "INDIVIDUAL RESIDENTIAL BUILDING PERMISSION" and it should NOT BE CONVERTED into Plots/Apartment

City Commr Hyderabad  
Deputy Commissioner  
Urban Administration  
Greater Hyderabad Municipal Corporation



**SPECIFICATIONS**

1. FOUNDATION	C.C BED
2. BASEMENT	CRS MASONRY
3. SUPER-STRUCTURE	BRICK MASONRY
4. COLUMNS, BEAMS, SLABS	R.C.C. 1:2:4
5. PLASTERING	C.M IN 1:4
6. FLOORING	MARBLE
7. DOORS & WINDOWS	TEAK WOOD

**REFERENCE: JOINERY**

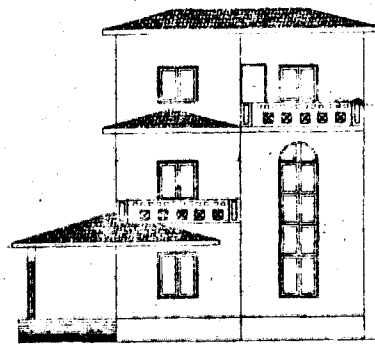
PROPOSED	D : 1.08X2.0	W : 1.8X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
SCALE : 1:100 & 1:200	D2 : 0.76X2.0	W2 : 1.2X1.2
	V : 0.92X0.81	W3 : 1.8X.91

**AREAS**

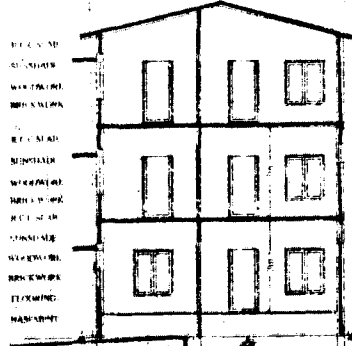
TOTAL PLOT AREA	:315.07 Sq.Mtrs (OR) 376.87,Sq.Yds
GROUND PLINTH	83.40 Sq.mtrs
FIRST PLINTH	83.40 Sq.mtrs
SECOND PLINTH	83.40 Sq.mtrs
TOTAL PLINTH AREA	250.20 Sq.mtrs
PORTICO	25.21 Sq.mtrs
OPEN AREA	231.67 Sq.mtrs
COMPOUND WALL	74.51-Rmtr

**OWNERS SIGN ARCHITECT SIGN**

Handwritten signatures of the owner and the architect, with their respective names and titles.



FRONT ELEVATION



SECTION AT 'S'

This is only a **RESIDENTIAL BUILDING PERMISSION** and it should **NOT BE CONVERTED** into **Plots/Apartments**



THE PERMISSION IS ACCORDED UP TO GROUND FLOOR SLAB LEVEL ONLY. AFTER COMPLETE HOIST OF GROUND FLOOR SLAB THE APPLICANT SHALL OBTAIN F.L.L. BEFORE STARTING OTHER CONSTRUCTION OF SECOND FLOOR.

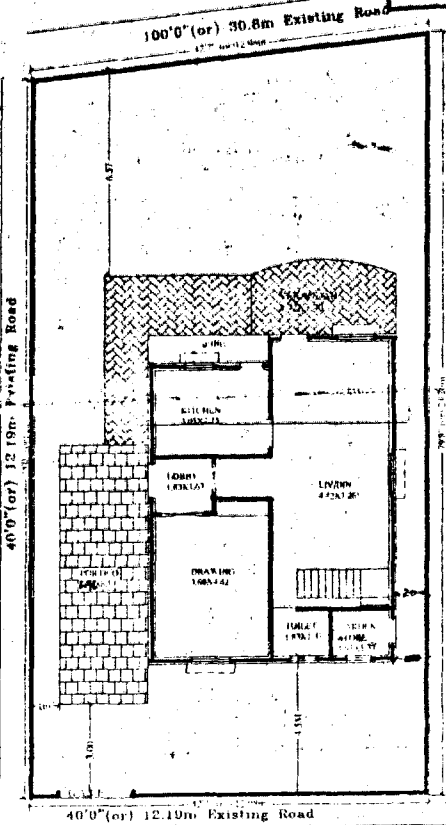
The Builder/Owner to deposit with the Road, Drain, Water, Sewer, Light, & Gas Boards as per their respective bye-laws the amount of Rs. 1000/- (one thousand rupees) towards the deposit for the purpose of the above mentioned permission.

Permission granted under the provisions of the Hyderabad Land Ceiling & Regulations Act, 1978. Plot No. 60, Survey No. 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

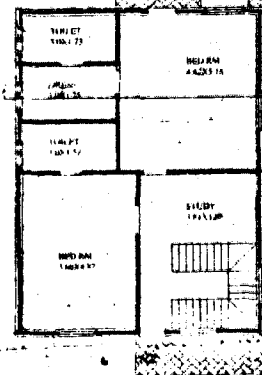
Deputy Commissioner  
Urban Administrative Zone  
Greater Hyderabad Municipal Corporation

PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:60, FORMING A PART OF SURVEY NOS.201. SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORATION, ADMINISITRATIVE ZONE, KAPRA, R.R.DIST., BELONGING TO:

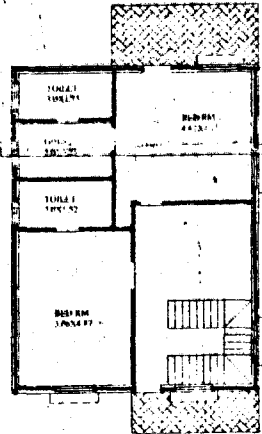
M/S MEHTA & MODI HOMES, REP.HY ITS MANAGING PARTNER MR. SOHAM MODI S/O. MR. SATISH MODI



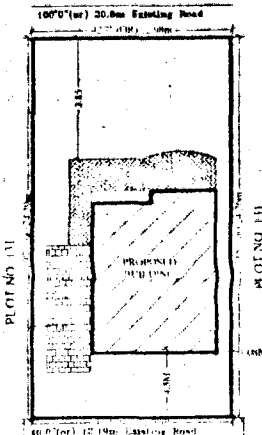
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



SITE PLAN

**SPECIFICATIONS**

- 1. FOUNDATION : C.C.BED
- 2. BASEMENT : C.R.S MASONRY
- 3. SUPERSTRUCTURE : BRICK MASONRY
- 4. COLUMNS, BEAMS, SLABS : R.C.C. 1:2:4
- 5. PLASTERING : C.M IN 1:4
- 6. FLOORING : MARBLE
- 7. DOORS & WINDOWS : TEAK WOOD

**REFERENCE: JOINERY**

PROPOSED	D : 1.06X2.0	W : 1.8X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
SCALE : 1:100 & 1:200	D2 : 0.76X2.0	W2 : 1.2X1.2
	V : 0.92X0.61	W3 : 1.8X.91

**AREAS**

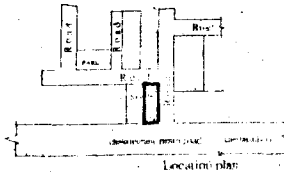
TOTAL PLOT AREA	: 315.07 Sq.Mtrs (OR) 378.87 Sq.Yds
GROUND PLINTH	83.40 Sq.mtrs
FIRST PLINTH	83.40 Sq.mtrs
SECOND PLINTH	83.40 Sq.mtrs
TOTAL PLINTH AREA	250.20 Sq.mtrs
PORTICO	23.50 Sq.mtrs
OPEN AREA	231.67 Sq.mtrs
COMPOUND WALL	74.51 Rmtr

OWNERS SIGN

ARCHITECT SIGN

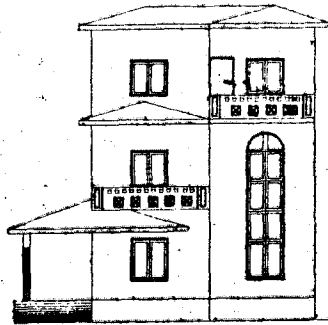
*[Handwritten Signature]*

*[Handwritten Signature]*



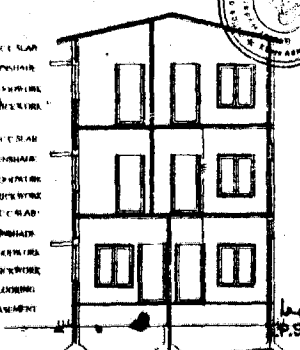
Location plan





FRONT ELEVATION

R.C.C. SLAB  
NON-REINFORCED  
CONCRETE  
R.C.C. SLAB  
NON-REINFORCED  
CONCRETE  
R.C.C. SLAB  
NON-REINFORCED  
CONCRETE  
R.C.C. SLAB  
NON-REINFORCED  
CONCRETE  
R.C.C. SLAB  
NON-REINFORCED  
CONCRETE  
R.C.C. SLAB  
NON-REINFORCED  
CONCRETE  
R.C.C. SLAB  
NON-REINFORCED  
CONCRETE  
R.C.C. SLAB  
NON-REINFORCED  
CONCRETE  
R.C.C. SLAB  
NON-REINFORCED  
CONCRETE



THE PERMISSION IS ACCORDED UP TO GROUND FLOOR SLAB LEVEL ONLY. AFTER COMPLETION OF GROUND FLOOR SLAB, THE APPLICANT SHALL OBTAIN CLEARANCE O.C. FROM THIS MUNICIPALITY TO PROCEED FURTHER CONSTRUCTION OF FIRST & SECOND FLOORS.

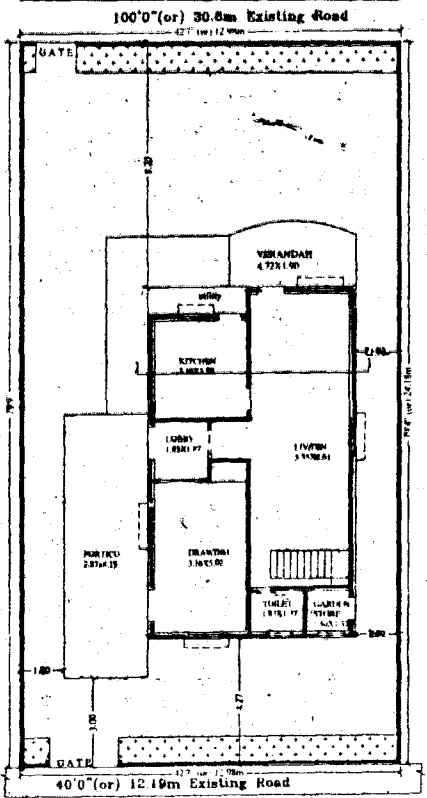
The Sub-applicant should obtain the Street, Drain, Sewer, Water, Gas, Telephone and Cable etc. lines across the plot before the construction of the building is started. The applicant is responsible for the cost of the same. The Applicant should also obtain the permission from the concerned authorities for the same.

Percentage granted subject to the provisions of the Urban Land (Ceiling & Regulations) Act, 1976. Vide Proceedings No. 8465 of 1981 (2007-2008) dated 21.12.2007. Amount Collected Rs. 16,334/- only.

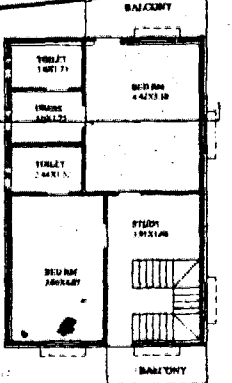
The permission mentioned is valid upto 28.02.2018. Vide Record No. 196.2.9.2018. D.L. No. 2018.

T.P.O.(U.G.)  
Deputy Commissioner  
Kapur Administrative Zone  
Greater Hyderabad Municipal Corporation

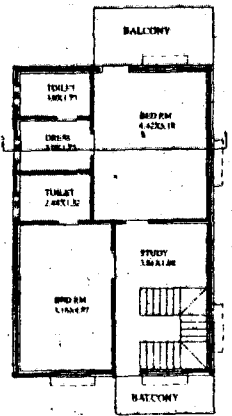
This is only a **INDIVIDUAL RESIDENTIAL SECTION** of the plot and it should **NOT** be converted into **Plots/Apartments**.



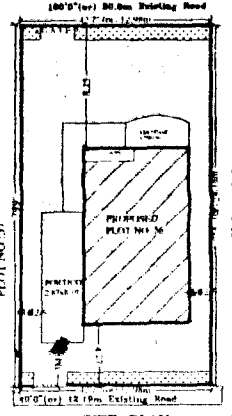
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



SITE PLAN

PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:58, FORMING A PART OF SURVEY NOS.291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORATION, ADMINISITRATIVE ZONE, KAPRA, R.R.DIST., BELONGING TO:

M/S MEHTA & MODI HOMES, REP BY ITS MANAGING PARTNER  
MR. SOHAM MODI S/O. MR. SATISH MODI

SPECIFICATIONS

1. FOUNDATION	: C.C.BED
2. BASEMENT	: C.R.S MASONRY
3. SUPERSTRUCTURE	: BRICK MASONRY
4. COLUMNS, BEAMS, SLABS:	: R.C.C. 1:2:4
5. PLASTERING	: C.M IN 1:4
6. FLOORING	: MARBLE
7. DOORS & WINDOWS	: TEAK WOOD

REFERENCE: JOINERY

PROPOSED	D : 1.06X2.0	W : 1.8X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
SCALE : 1:100 & 1:200	D2 : 0.76X2.0	W2 : 1.2X1.2
	V : 0.92X0.61	W3 : 1.8X.61

AREAS

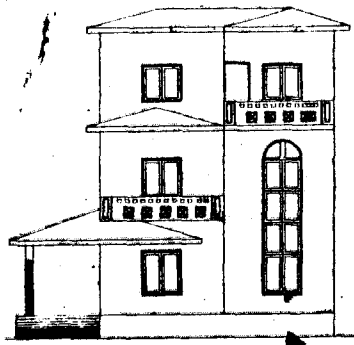
TOTAL PLOT AREA	: 314.58 Sq.Mtrs (OR) 376.29 Sq.Yds
GROUND PLINTH	: 83.40 Sq.mtrs
FIRST PLINTH	: 83.40 Sq.mtrs
SECOND PLINTH	: 83.40 Sq.mtrs
TOTAL PLINTH AREA	: 250.20 Sq.mtrs
PORTICO	: 23.50 Sq.mtrs
OPEN AREA	: 231.18 Sq.mtrs
COMPOUND WALL	: 74.45 Rmtr

OWNERS SIGN

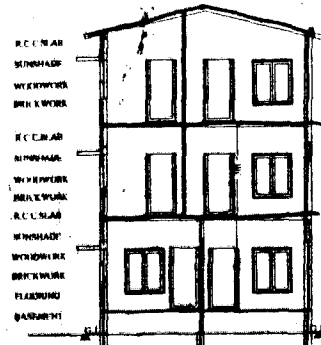
For Mehta Modi  
*Signature*  
Soham Modi

ARCHITECT SIGN

M. RAJA SETHI  
ARCHITECT  
20, CHITRAKOOT, HYDRABAD  
080-2622-5724



FRONT ELEVATION



SECTION AT 55'

THE PERMISSION IS ACCORDED UP TO GROUND FLOOR SLAB LEVEL ONLY. AFTER COMPLETION OF GROUND FLOOR SLAB, THE APPLICANT SHALL OBTAIN CLEARANCE/D.O.C. FROM THIS MUNICIPALITY TO PROCEED FURTHER CONSTRUCTION OF FIRST & SECOND FLOORS.

The Builders/Contractor should provide the Road, Drain, Sewer, Water, Gas, Telephone and Street etc. from every house. Builders with "RIGIDITY TRUST FUND" need to issue and Supply Department and copy of the Foreworks shall be sent to the Assistant Director, Road and Building of the District.

Permission granted subject to the provisions of the Urban Land (Ceiling & Regulation) Act, 1976, Video Proceedings No. BAVO/311/CT/2007/2008. Date: 24.07.2008. Amount Collected: Rs. 12,500/- This permission is valid upto 31.03.2010. Video Proceeding No. 256/2008. D.S. S.M. (A.P.)

S. He. M. C. Deputy Commissioner Kapra Administrative Zone Greater Hyderabad Municipal Corporation

T.P.O. (O.G.)

PLAN SHOWING THE PROPOSED GROUND &

FIRST FLOOR RESIDENTIAL BUNGALOW ON

PLOT NO:53, FORMING A PART OF SURVEY

NOS.291, SITUATED AT "SILVER OAK

BUNGALOWS" CHERLAPALLY (V), GREATER

HYDERABAD MUNICIPAL CORPORATION,

ADMINISTRATIVE ZONE, KAPRA, R.R.DIST.,

BELONGING TO:

M/S MEHTA & MODI HOMES, REP. BY ITS

MANAGING PARTNER

MR. SOHAM MODI S/O. MR. SATISH MODI

SPECIFICATIONS

- |                          |                 |
|--------------------------|-----------------|
| 1. FOUNDATION            | : C.C.BED       |
| 2. BASEMENT              | : C.R.S MASONRY |
| 3. SUPERSTRUCTURE        | : BRICK MASONRY |
| 4. COLUMNS, BEAMS, SLABS | : R.C.C. 1:2:4  |
| 5. PLASTERING            | : C.M IN 1:4    |
| 6. FLOORING              | : MARBLE        |
| 7. DOORS & WINDOWS       | : TEAK WOOD     |

REFERENCE: JOINERY

PROPOSED	D : 1.06X2.0	W : 1.5X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
SCALE : 1:100 & 1:200	D2 : 0.76X2.0	W2 : 1.2X1.2
	Y : 0.92X0.81	W3 : 1.5X0.91

AREAS

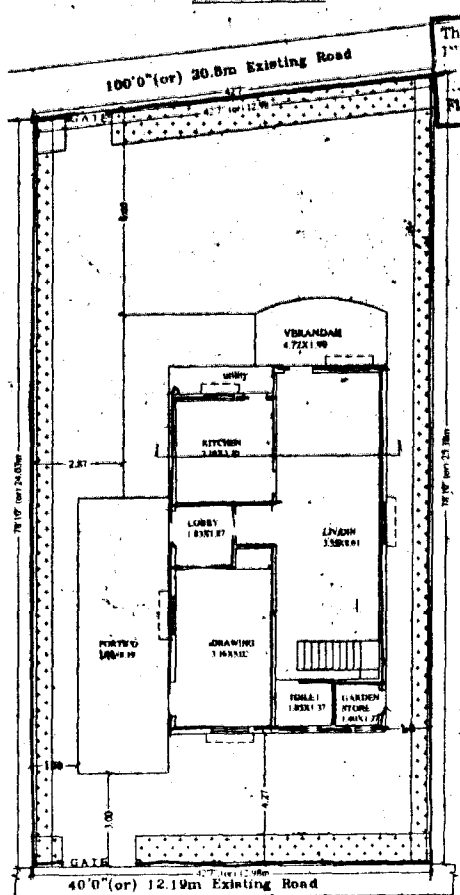
TOTAL PLOT AREA	: 319.82 Sq.Mtrs (OR) 382.55 Sq.Yds
GROUND PLINTH	83.40 Sq.mtrs
FIRST PLINTH	83.40 Sq.mtrs
SECOND PLINTH	83.40 Sq.mtrs
TOTAL PLINTH AREA	250.20 Sq.mtrs
PORTICO	23.50 Sq.mtrs
OPEN AREA	236.42 Sq.mtrs
COMPOUND WALL	75.37 Rmtr

OWNERS SIGN

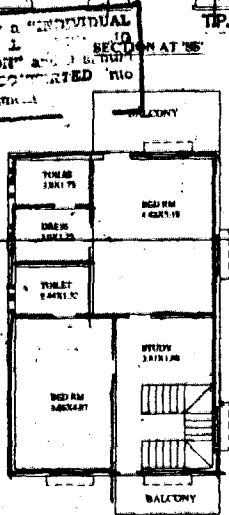
ARCHITECT SIGN

*For Mehta & Modi Homes*

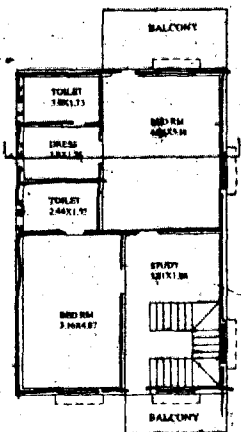
**S. RAJA RAO D. AKHIL S.**  
 ARCHITECT REGISTERED  
 2-30, CHITRA NAGAR, E. P. ROAD, HYDERABAD - 500 084



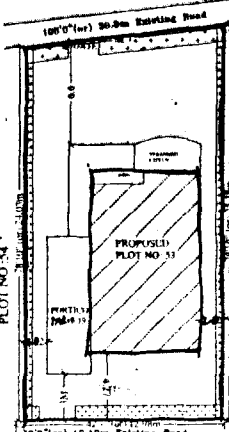
GROUND FLOOR PLAN



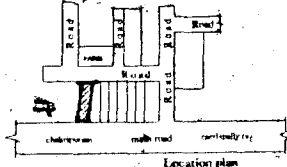
FIRST FLOOR PLAN



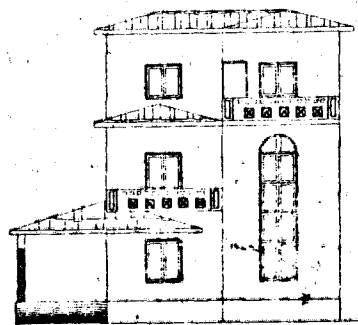
SECOND FLOOR PLAN



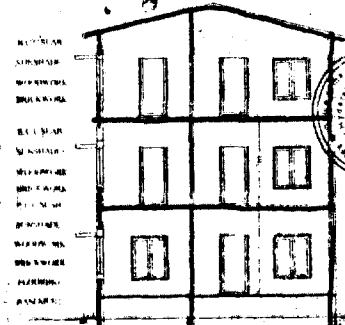
SITE PLAN



Location plan

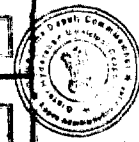


FRONT ELEVATION



SECTION AT 30'

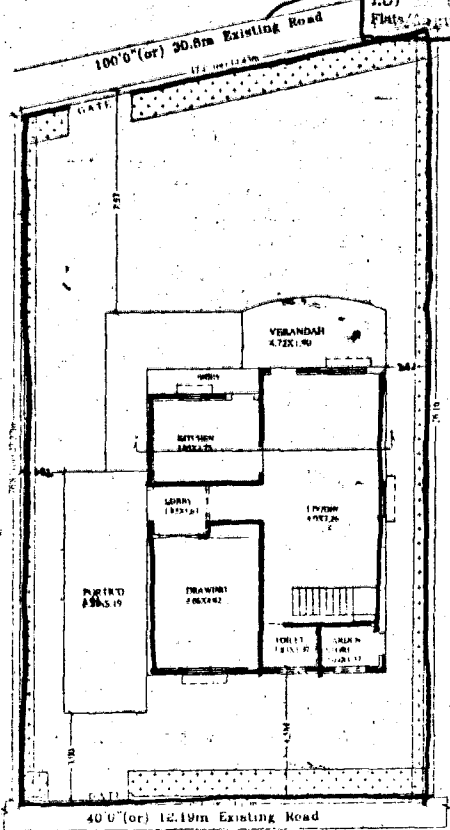
THE PERMISSION IS ACCORDED UP TO GROUND FLOOR SLAB LEVEL ONLY AFTER COMPLETION OF GROUND FLOOR SLAB. THE APPLICANT SHALL OBTAIN CLEARANCE FROM THIS MUNICIPALITY TO PROCEED FURTHER CONSTRUCTION OF FIRST & SECOND FLOORS.



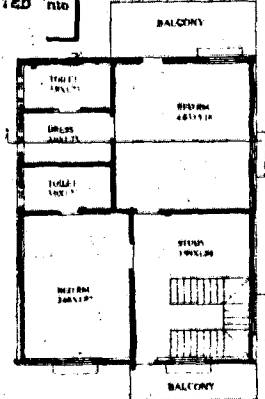
Permit granted subject to the provisions of the Urban Land (Ceiling & Regulations) Act, 1975, Vide Proceedings No. 840/51/157/2007/2008. Date: 14.05.2013. Amount Collected: Rs. 15,000.00. The permission is valid upto 15.05.2013. Vide Serial No. 15/15/13. Dt. 15.05.2013.

Deputy Commissioner  
Kapurthala District  
Gurdaspur

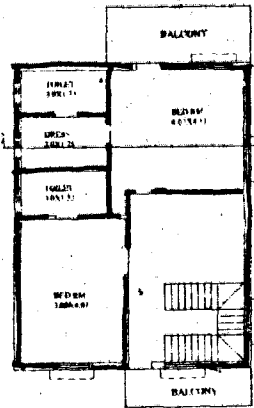
This is only a PERMIT TO CONSTRUCT and should not be construed into Final Approval.



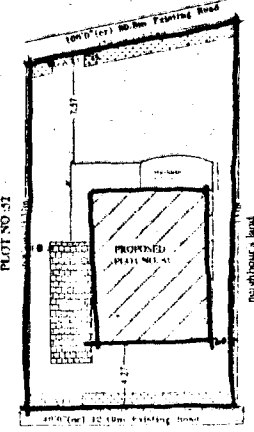
GROUND FLOOR PLAN



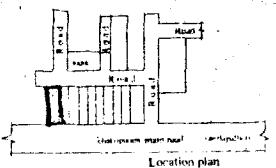
FIRST FLOOR PLAN



SECOND FLOOR PLAN



SITE PLAN



Location plan

PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:51, FORMING A PART OF SURVEY NOS.291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), KAPRA GREATER HYDERABAD MUNICIPAL CORPORATION ADMINISTRATIVE ZONE, KAPRA, R.R.DIST., BELONGING TO:

M/S MEHTA & MODI HOMES, REP. BY ITS MANAGING PARTNER MR. SOHAM MODI S/O. MR. SATISH MODI

SPECIFICATIONS

- 1. FOUNDATION : C.C.BED
- 2. BASEMENT : C.R.S MASONRY
- 3. SUPERSTRUCTURE : BRICK MASONRY
- 4. COLUMNS, BEAMS, SLABS : R.C.C. 1:2:4
- 5. PLASTERING : C.M IN 1:4
- 6. FLOORING : MARBLE
- 7. DOORS & WINDOWS : TEAK WOOD

REFERENCE: JOINERY

PROPOSED	D : 1.06X2.0	W : 1.8X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
SCALE : 1:100 & 1:200	D2 : 0.76X2.0	W2 : 1.2X1.2
	V : 0.92X0.61	W3 : 1.8X.91

AREAS

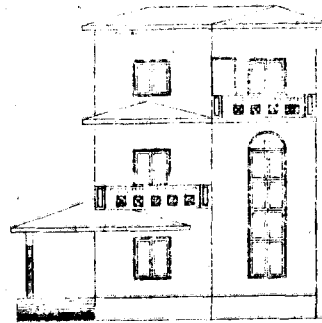
TOTAL PLOT AREA	:350.00 Sq.Mtrs (OR) 418.66Sq.Yds
GROUND PLINTH	85.66 Sq.mtrs
FIRST PLINTH	85.66 Sq.mtrs
SECOND PLINTH	85.66 Sq.mtrs
TOTAL PLINTH AREA	256.98 Sq.mtrs
PORTICO	23.50 Sq.mtrs
OPEN AREA	254.34 Sq.mtrs
COMPOUND WALL	78.08 Rmtr

OWNERS SIGN

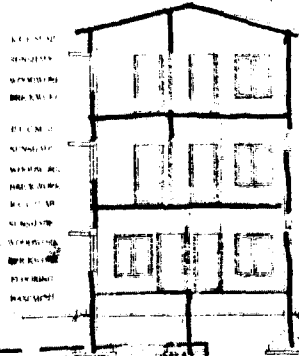
For Mehta & Modi  
*[Signature]*

ARCHITECT SIGN

*[Signature]*



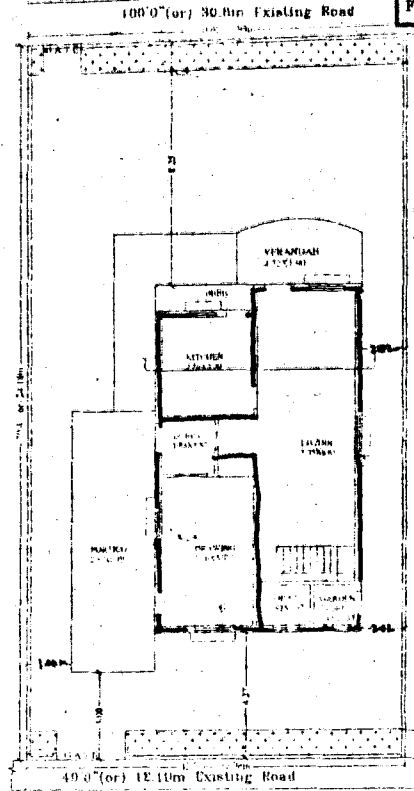
FRONT ELEVATION



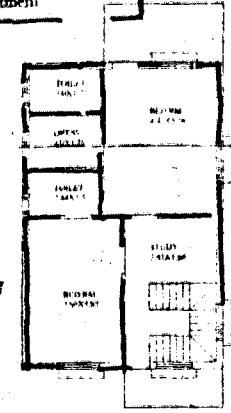
THE PERMISSION IS ACCORDED UP TO GROUND FLOOR SLAB LEVEL ONLY. AFTER COMPLETION OF GROUND FLOOR SLAB, THE APPLICANT SHALL OBTAIN CLEARANCE FROM THE MUNICIPALITY FOR THE FURTHER CONSTRUCTION OF FIRST & SECOND FLOORS.

The Builder/Owner shall ensure that the Building shall be constructed in accordance with the approved plans and specifications. The Builder/Owner shall be responsible for the maintenance and repair of the building. The permission is valid for a period of 12 months from the date of issue. The permission is subject to the provisions of the Urban Land (Ceiling & Regulations) Act, 1976. Vide Proclamation No. 820 of 1976. The permission is subject to the provisions of the Hyderabad Municipal Corporation Act, 1957. The permission is subject to the provisions of the Hyderabad Municipal Corporation (Amendment) Act, 1976. The permission is subject to the provisions of the Hyderabad Municipal Corporation (Amendment) Act, 1976.

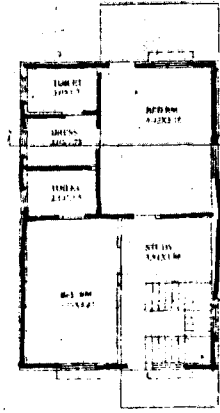
This is only a **RESIDENTIAL BUILDING PERMISSION** and it should **NOT BE CONVERTED** into **Plats/Apartments**



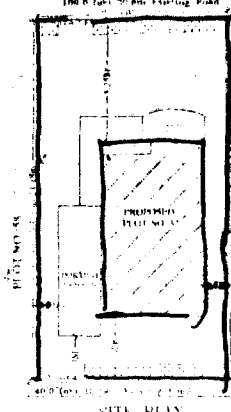
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



SITE PLAN

T.P.O. (O.G.)  
T.P.O. (O.G.)  
T.P.O. (O.G.)

PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:57, FORMING A PART OF SURVEY NOS.291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORATION, ADMINISITRATIVE ZONE, KAPRA, R.R.DIST. BELONGING TO:

M/S MEHTA & MODI HOMES, REP. BY ITS MANAGING PARTNER  
MR. SOHAM MODI S/O. MR. SATISH MODI

SPECIFICATIONS

1. FOUNDATION	C.C.FRD
2. BASEMENT	C.H.S MASONRY
3. SUPERSTRUCTURE	BRICK MASONRY
4. COLUMNS, BEAMS, SLABS	R.C.C. 1:2:4
5. PLASTERING	C.M IN 1:4
6. FLOORING	MARBLE
7. DOORS & WINDOWS	TEAK WOOD

REFERENCE:	JOINERY
PROPOSED	D : 1.06X2.0 W : 1.8X1
EXISTING	D1 : 0.91X2.0 W1 : 1.5X1
SCALE : 1:100 & 1:500	D2 : 0.76X2.0 W2 : 1.2X1
	V : 0.92X0.61 W3 : 1.8X.9

AREAS

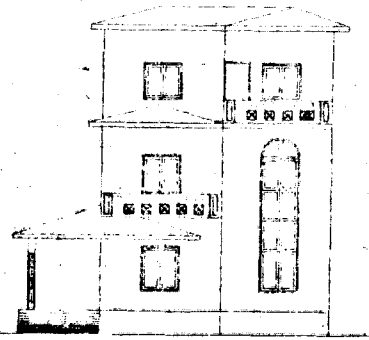
TOTAL PLOT AREA	:315.62 Sq.Mtrs (OR) 377.53Sq.Yds
GROUND PLINTH	83.40 Sq.mtrs
FIRST PLINTH	83.40 Sq.mtrs
SECOND PLINTH	83.40 Sq.mtrs
TOTAL PLINTH AREA	250.20 Sq.mtrs
PORTICO	23.50 Sq.mtrs
OPEN AREA	232.22 Sq.mtrs
COMPOUND WALL	74.60 Rint

OWNERS SIGN

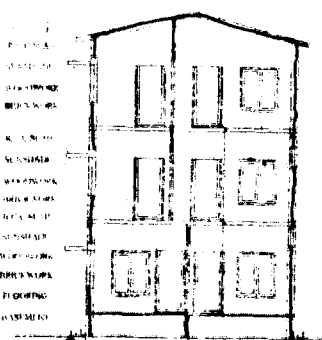
ARCHITECT SIGN

M/s Mehta & Modi  
*[Signature]*  
MANAGING PARTNER

*[Signature]*  
ARCHITECT



FRONT ELEVATION



This is only a "INDIVIDUAL RESIDENTIAL BUILDING PERMISSION" and it should NOT BE CONVERTED into Plats/Apartments

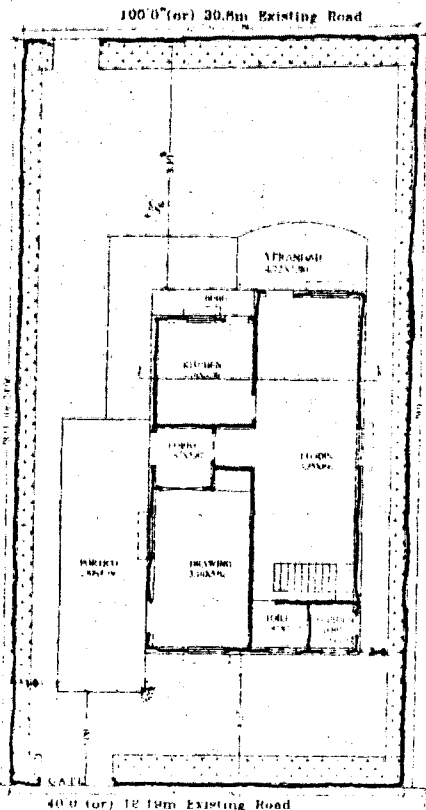
THE PERMISSION IS ACCORDED UP TO GROUND FLOOR SLAB LEVEL ONLY. AFTER COMPLETION OF GROUND FLOOR SLAB, THE APPLICANT SHALL OBTAIN CLEARANCE FROM THIS MUNICIPALITY TO PROCEED FURTHER CONSTRUCTION UP TO SECOND FLOORS

Permission granted subject to the conditions of the Urban Land Ceiling in the development of 1575/1576 Vide Proclamation No. 84/57 dated 27/12/1956 Date: 14/01/2007 Attached Collection No: 14/01/07

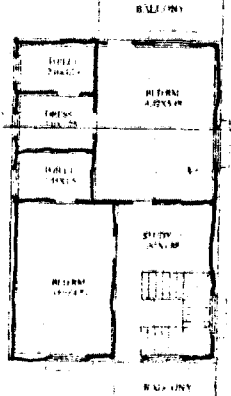


PLAN SHOWING THE PROPOSED GROUND & FIRST FLOOR RESIDENTIAL BUNGALOW ON PLOT NO:55, FORMING A PART OF SURVEY NOS.291, SITUATED AT "SILVER OAK BUNGALOWS" CHERLAPALLY (V), GREATER HYDERABAD MUNICIPAL CORPORATION, ADMINISITRATIVE ZONE, KAPRA, R.R.DIST., BELONGING TO:

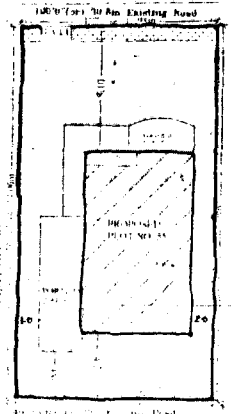
M/S MEHTA & MODI HOMES, REP. BY ITS MANAGING PARTNER MR. SOHAM MODI S/O. MR. SATISH MODI



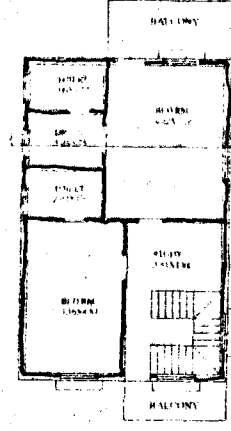
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SITE PLAN



SECOND FLOOR PLAN

T.P.S. T.P.O.(O.G.) Deputy Commissioner, Greater Hyderabad Municipal Corporation



SPECIFICATIONS

- 1. FOUNDATION : C.C.BED
- 2. BASEMENT : C.B.S MASONRY
- 3. SUPERSTRUCTURE : BRICK MASONRY
- 4. COLUMNS, BEAMS, SLABS : R.C.C. 1:2:4
- 5. PLASTERING : C.M IN 1:4
- 6. FLOORING : MARBLE
- 7. DOORS & WINDOWS : TEAK WOOD

REFERENCE: JOINERY

PROPOSED	D : 1.06X2.0	W : 1.8X1.2
EXISTING	D1 : 0.91X2.0	W1 : 1.5X1.2
	D2 : 0.76X2.0	W2 : 1.2X1.2
SCALE : 1:100 & 1:200	V : 0.92X0.61	W3 : 1.8X.91

AREAS

TOTAL PLOT AREA	314.58 Sq.Mtrs (OR) 376.29Sq.Yds
GROUND PLINTH	83.40 Sq.mtrs
FIRST PLINTH	83.40 Sq.mtrs
SECOND PLINTH	83.40 Sq.mtrs
TOTAL PLINTH AREA	250.20 Sq.mtrs
PORTICO	23.50 Sq.mtrs
OPEN AREA	231.18 Sq.mtrs
COMPOUND WALL	74.45 Rmtr

OWNERS SIGN

ARCHITECT SIGN

*(Signature)*

