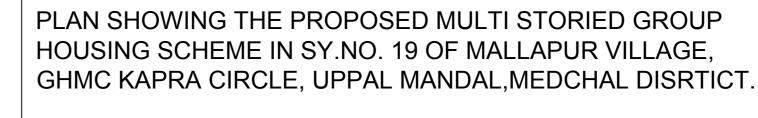
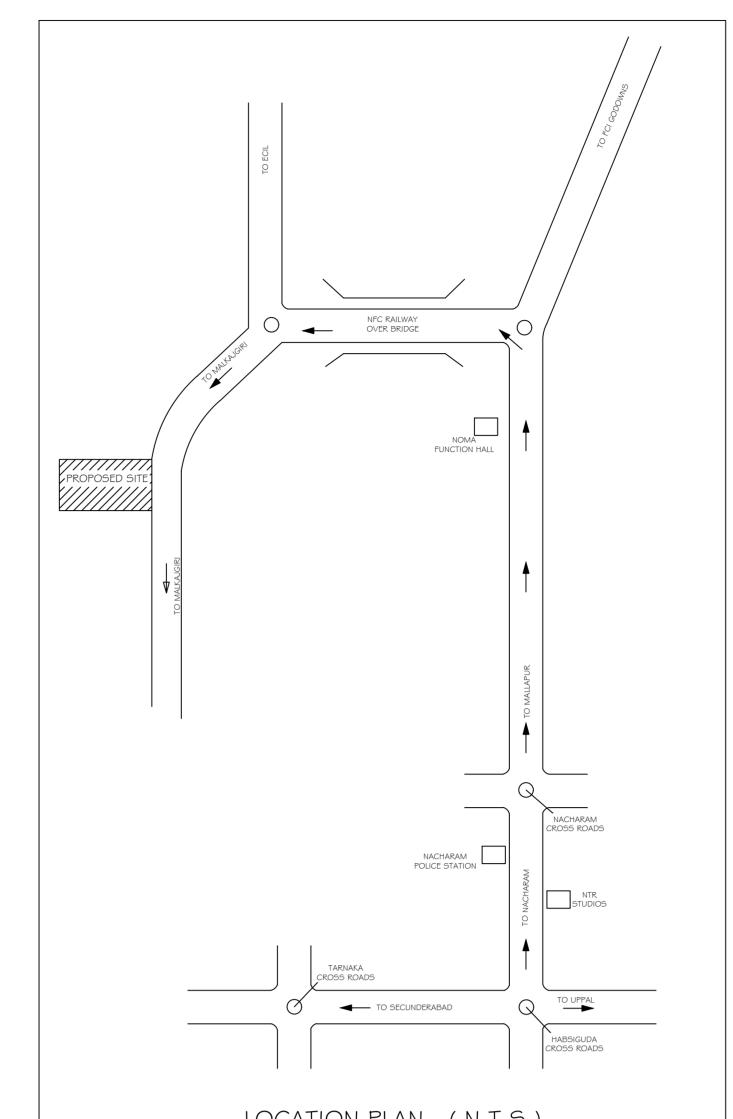


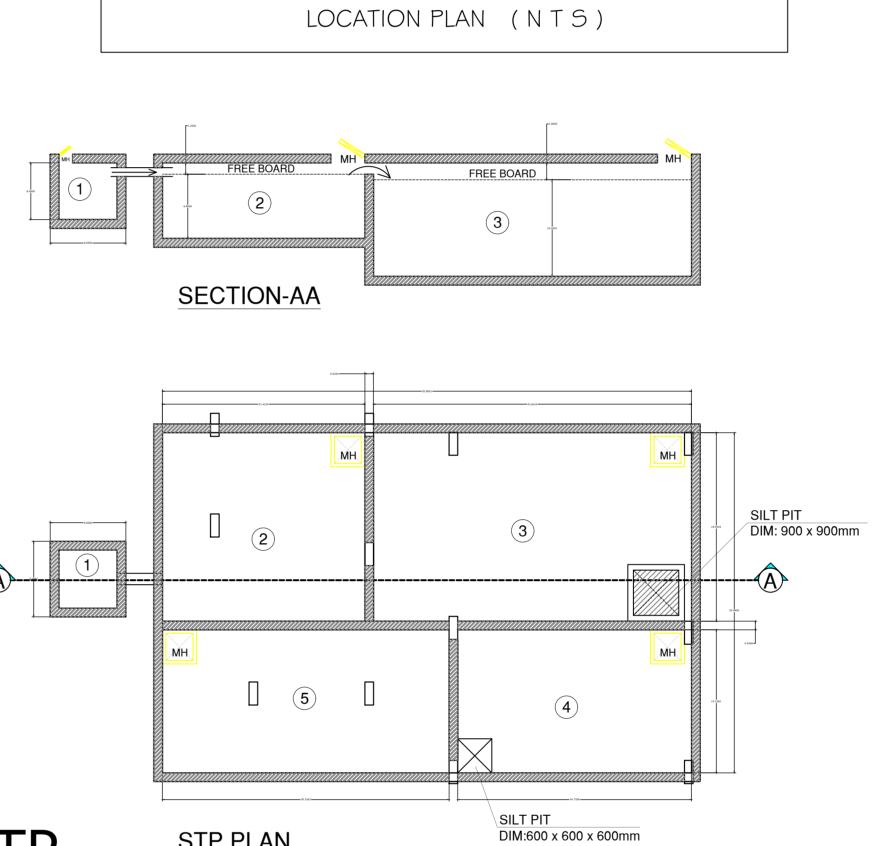
SO_full_bleed_2A0_(1189.00_x_1682.00_MM)

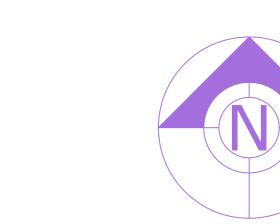


M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA







1. Automatic Fire sprinklers may be may be provided in the cellar as per norms before releasing of Occupancy Certificate.

ld be formed before releasing of Occupancy Certificate

provided in the Cellar as per the norms before releasing the Occupancy

Certificate.

4. Transformer is not allowed in Tot-lot.

The permission accorded does not confer any ownership rights, At a later stage if it is found that the documents are false and fabricated the

permission will be revoked U/s 450 of HMC Act 1955. If construction is not commenced within one year, building application

shall be submitted afresh duly paying required fees.
Sanctioned Plan shall be followed strictly while making the constructi

A.P.H.B. Main Road BELONGING TO : Mr./Ms./Mrs M/s. GULMOHAR RESIDENCY & JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri. Uttamlal Mehta REP BY: Supervisor_C ABDUL NAYEEM NASIR APPROVAL NO: 1/C1/09930/2019

PLAN SHOWING THE PROPOSED

SURVEY NO 19 SITUATED AT , MEDCHAL

PLOT NO. NA

SHEET NO.: 1 / 13 PROJECT DETAIL Inward_No : 1/C1/19077/2017 Plot Use : Residential Project Type : Building Permission Plot SubUse : ResiComm Bldg PlotNearbyNotifiedReligiousStructure : NA Nature of Development : New SubLocation : New Areas / Approved Layout Areas | Land Use Zone : Residential Village Name : A.P.H.B. Main Road Land SubUse Zone : NA Abutting Road Width : 30.00 Mandal : UPPAL Plot No : NA Survey No. : 19 North side details : Vacant Land -South side details : ROAD WIDTH - 30 East side details : Others - NFC CAMPUS West side details : Vacant Land -AREA DETAILS AREA OF PLOT (Minimum) Deduction for NetPlot Area Road Affected Area / Road Widening Area (A-Deductions) NET AREA OF PLOT Road Affected Area Amenity Area (A-Deductions) BALANCE AREA OF PLOT AccessoryUse Area Vacant Plot Area Proposed Coverage Area (37.31 %

Approval No. : 1/C1/19077/2017

Proposed Number of Parkings

Residential Net BUA

BUILT UP AREA

MORTGAGE AREA

Commercial Net BUA

EXTRA INSTALLMENT MORTGAGE AREA

Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view.

Commencement Notice shall be submitted by the applicant before commencement commencement Notice shall be submitted by the applicant before commencement. ement of the building U/s 440 of HMC Act.

Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act. Occupancy Certificate is compulsory before occupying any building.

Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate.

Prior Approval should be obtained separately for any modification in the construction. the construction.

Tree Plantation shall be done along the periphery and also in front or the premises.

Tot-lot shall be fenced and shall be maintained as greenery at owners cost before issue of occupancy certificate.

Rain Water Harvesting Structure (percolation pit) shall be constructed Space for Transformer shall be provided in the site keeping the safety of the residents in view.

Garbage House shall be made within the premises

Cellar and stilts approved for parking in the plan should be used exclusively for parking of vehicles without partition walls & rolling shut ters and the same should not be converted or misused for any other pur pose at any time in future as per undertaking submitted.

No. of units as sanctioned shall not be increased without prior approval of GHMC at any time in future
This sanction is accorded on surrendering of Road affected portion of
the site to GHMC free of cost with out claiming any compensation at any time as per the undertaking submitted.

Strip of greenery on periphery of the site shall be maintained as per rules.

Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended.

The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976. The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.

A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained.

No front compound wall for the site abutting 18 mt. road width shall be alleged and early tension. be allowed and only Iron grill or Low height greenery hedge shall be If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the conditional property tax shall be implosed as penalty every year till the condition is fulfilled.

All Public and Semi Public buildings above 300Sq.mts. shall be constructed to provide facilities to physically handicapped persons as per provisions of NBC of 2005.

The mortgaged builtup area shall be allowed for registration only after an Occupancy Cotificate is produced. an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan

The Services like Sanitation, Plumbing, Fire Safety requirements, lifts, electrical installations etc., shall be executed under the supervision Architect / Structural Engineer if changed, the consent of the previous Architect / Structural Engineer is required and to be intimated to the till the issue of occupancy certificate (wherever applicable).
As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable),a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action.b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sal / Lease unless and until Occupancy Certificate is obtained from GHMC after providing all the regular service connections to each portion of the building and duly submitting the following.(i) Building Completion Certificate issued by the Architect duly certifying that the build ing is completed as per the sanctioned plan.(ii) Structural Stability Certificate issued by the Structural Engineer duly certifying that the building is structurally safe and the construction is in accordance with the specified designs.(iii) An extract of the site registers cont aining inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum posicio period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.

v) Two numbers water type fire extinguishers for every 600 Sq.mts. of floor area with minimum of four numbers fire extinguishers per floor and 5k DCP extinguishers minimum 2 Nos. each at Generator and Transformer area shall be provided as per I.S.I. specification No.2190-

ii) Provide Fire resistant swing door for the col lapsible lifts in all floors.

iii) Provide Generator, as alternate source of electric supply.

iv) Emergency Lighting in the Corridor / Common passages and stair case.

vi) Manually operated and alarm system in the entire buildings;

ix) Hose Reel, Down Corner.

xi) Electrical Wiring and

electrical fire safety.

vii) Separate Underground static water storage tank capacity of 25, 000 lits. Capacity.

viii) Separate Terr ace Tank of 25,000lits capacity for Residential buildings;

x) Automatic Sprinkler system is to be provided if the basement area exceed 200 Sq.mts.

xii) Transformers shall be protected with 4 hours rating fire resist constructions.

installation shall be certified by the electrical engineers to ensure

xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set backs area.

The Builder/Developer shall register the project in the RERA website after the launch in July 2018

No Cellar excavation is allowed till the end of Monsoon period i.e 30th September 2019.

let Built up Area & Dwel	ling Units Details										
Puilding	No. of Same Bldg	Total Built Up Area (Sq.mt.)	Dedu	uctions (Area in Sq	.mt.)	Proposed Net Buil	t up Area (Sq.mt.)	Add Area In Net Bu	uilt up Area(Sq.mt.)	Total Not Built up Aroa (Sa.mt.)	Dwolling Unite (No.)
Building	No. of Same Blug	Total Built Op Alea (Sq.IIIt.)	VShaft	Accessory Use	Parking	Resi.	Commercial	Stair	Lift	Total Net Built up Area (Sq.mt.)	Dweiling Offics (No.,
BLDG (BLOCK C)	1	5223.65	0.00	0.00	0.00	5223.65	0.00	0.00	0.00	5318.70	35
BLDG (BLOCK D)	1	5896.20	0.00	0.00	0.00	5896.20	0.00	12.50	0.00	6003.75	40
BLDG (BLOCK B)	1	5896.20	0.00	0.00	0.00	5896.20	0.00	0.00	0.00	5991.25	40
BLDG (BLOCK F)	1	3773.00	0.00	0.00	0.00	3773.00	0.00	12.50	0.00	3880.55	30
BLDG (BLOCK G)	1	4430.64	0.00	0.00	0.00	4430.64	0.00	12.50	4.01	4542.20	35
BLDG (BLOCK H)	1	4438.55	0.00	0.00	0.00	4438.55	0.00	12.50	0.00	4546.05	35
BLDG (BLOCK E)	1	5222.20	0.00	0.00	0.00	5222.20	0.00	12.50	0.00	5329.75	35
BLDG (AMENITY BLCK)	1	2002.60	0.00	0.00	0.00	0.00	2002.61	18.94	0.00	2021.54	00
BLDG (BLOCK A)	1	5587.15	650.50	79.78	18220.44	5587.15	0.00	309.22	111.07	6102.50	45
Grand Total :	9	42470.19	650.50	79.78	18220.44	40467.59	2002.61	390.66	115.08	43736.29	295.00

Building Name	Type	SubUse	Area (Sq.mt.)	UI	1115	Required Parking Area (Sq.mt
Dulluling Name	туре	Subose	Area (Sq.IIII.)	Required	Proposed	Trequired Farking Area (54.111)
BLDG (BLOCK C)	Residential	Residential Apartment Bldg	> 0	1	5223.65	1567.09
BLDG (BLOCK D)	Residential	Residential Apartment Bldg	> 0	1	5896.19	1768.86
BLDG (BLOCK B)	Residential	Residential Apartment Bldg	> 0	1	5896.19	1768.86
BLDG (BLOCK F)	Residential	Residential Apartment Bldg	> 0	1	3772.99	1131.90
BLDG (BLOCK G)	Residential	Residential Apartment Bldg	> 0	1	4430.64	1329.19
BLDG (BLOCK H)	Residential	Residential Apartment Bldg	> 0	1	4438.53	1331.56
BLDG (BLOCK E)	Residential	Residential Apartment Bldg	> 0	1	5222.21	1566.66
BLDG (AMENITY BLCK)	Commercial	Shop	> 0	1	2002.61	801.04
BLDG (BLOCK A)	Residential	Residential Apartment Bldg	> 0	1	5587.15	1676.15
	Total :		-	-	-	12941.31

Vehicle Type	Req	uired	Prop	osed	Proposed Area(Sq.mt.)
verlicie rype	No.	Area(Sq.mt.)	No.	Area(Sq.mt.)	Froposed Area(Sq.IIII.)
Total Car	-	12941.31	0	0.00	18936.30
/isitor's Car Parking	-	1294.15	190.06	2138.13	-
⁻ otal		14235.46		2138.13	18936.30

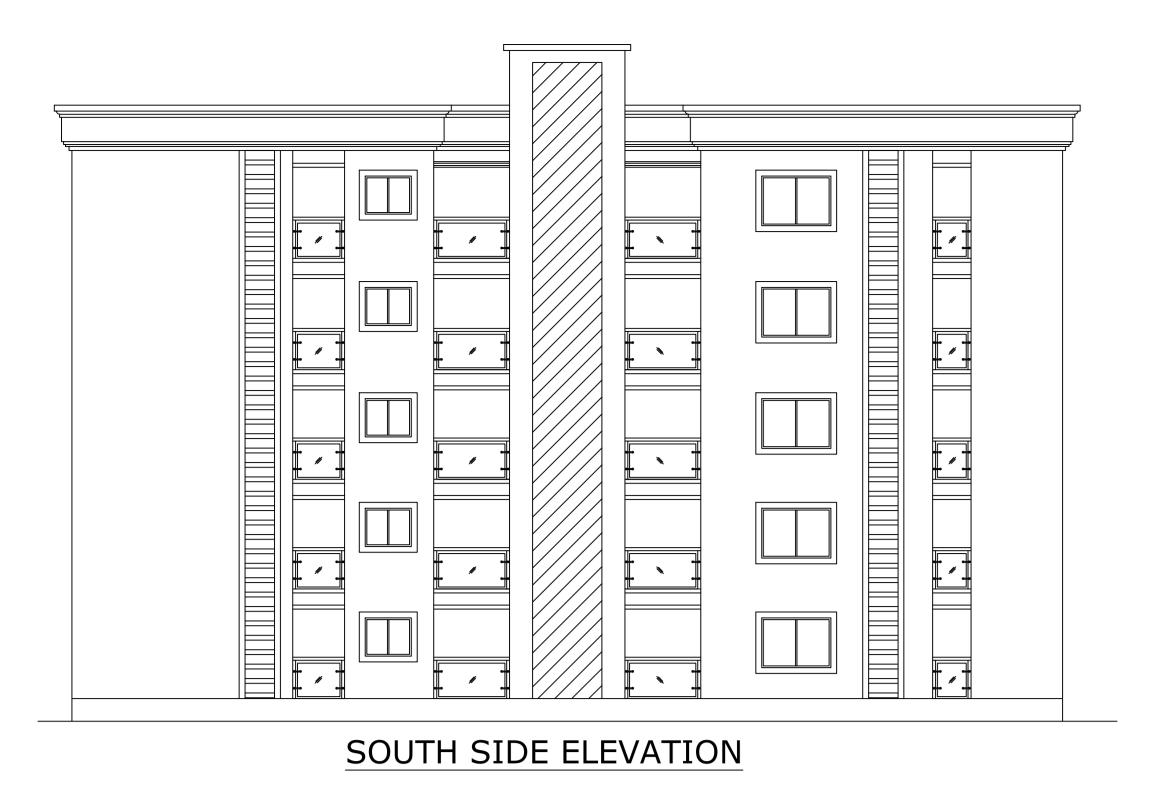
Building Use/Subuse Details

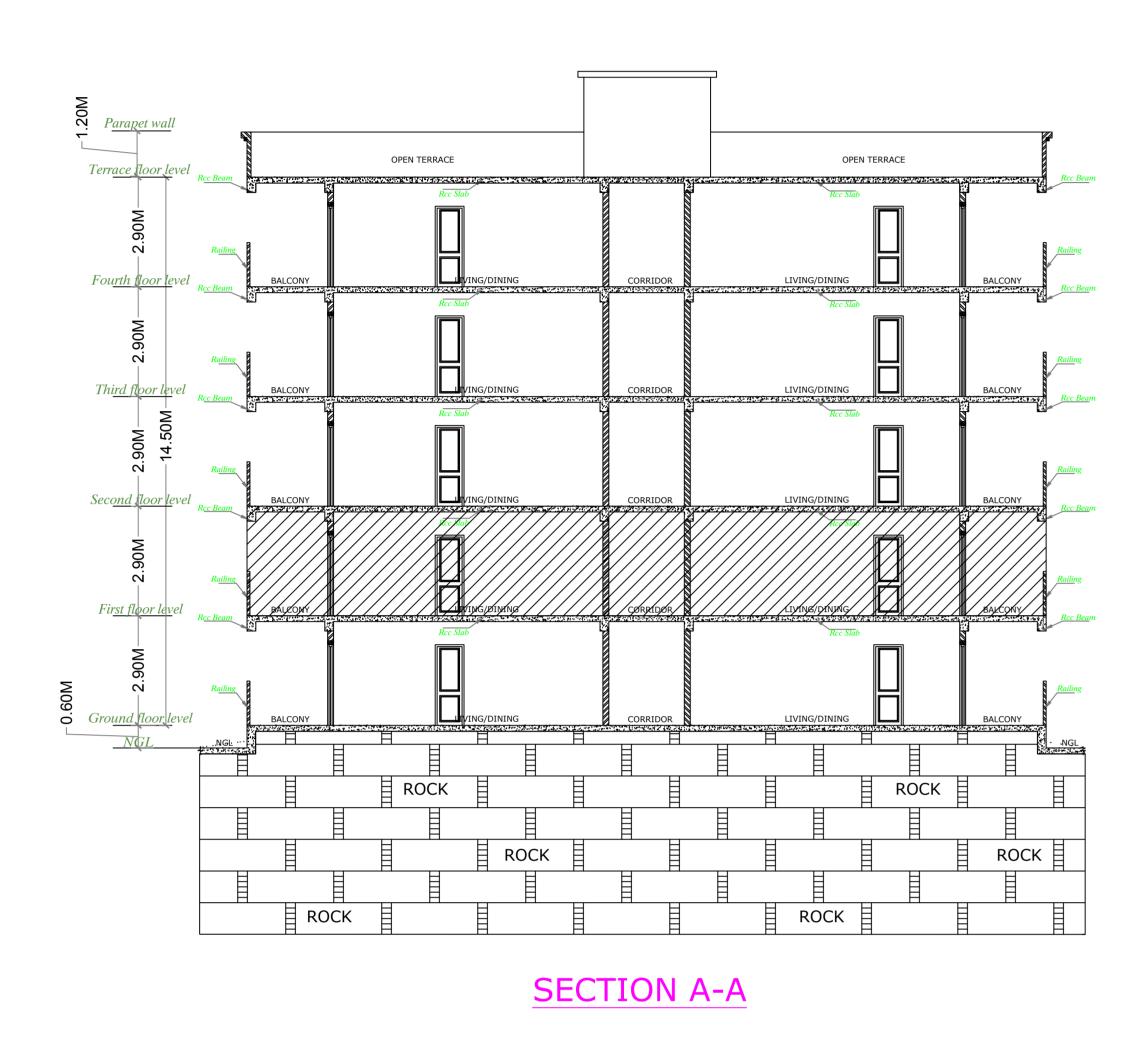
Building Name	Building Use	Building SubUse	Building Type	Floor Details
BLDG (BLOCK C)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK D)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK B)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK F)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK G)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK H)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK E)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (AMENITY BLCK)	Commercial	Shop	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK A)	Residential	Residential Apartment Bldg	Single Block	2 Cellar + 1 Ground + 4 upper floors

OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE

STRUCTURAL ENGINEER'S NAME AND SIGNATURE

Building: BLDG (BLOCK F)

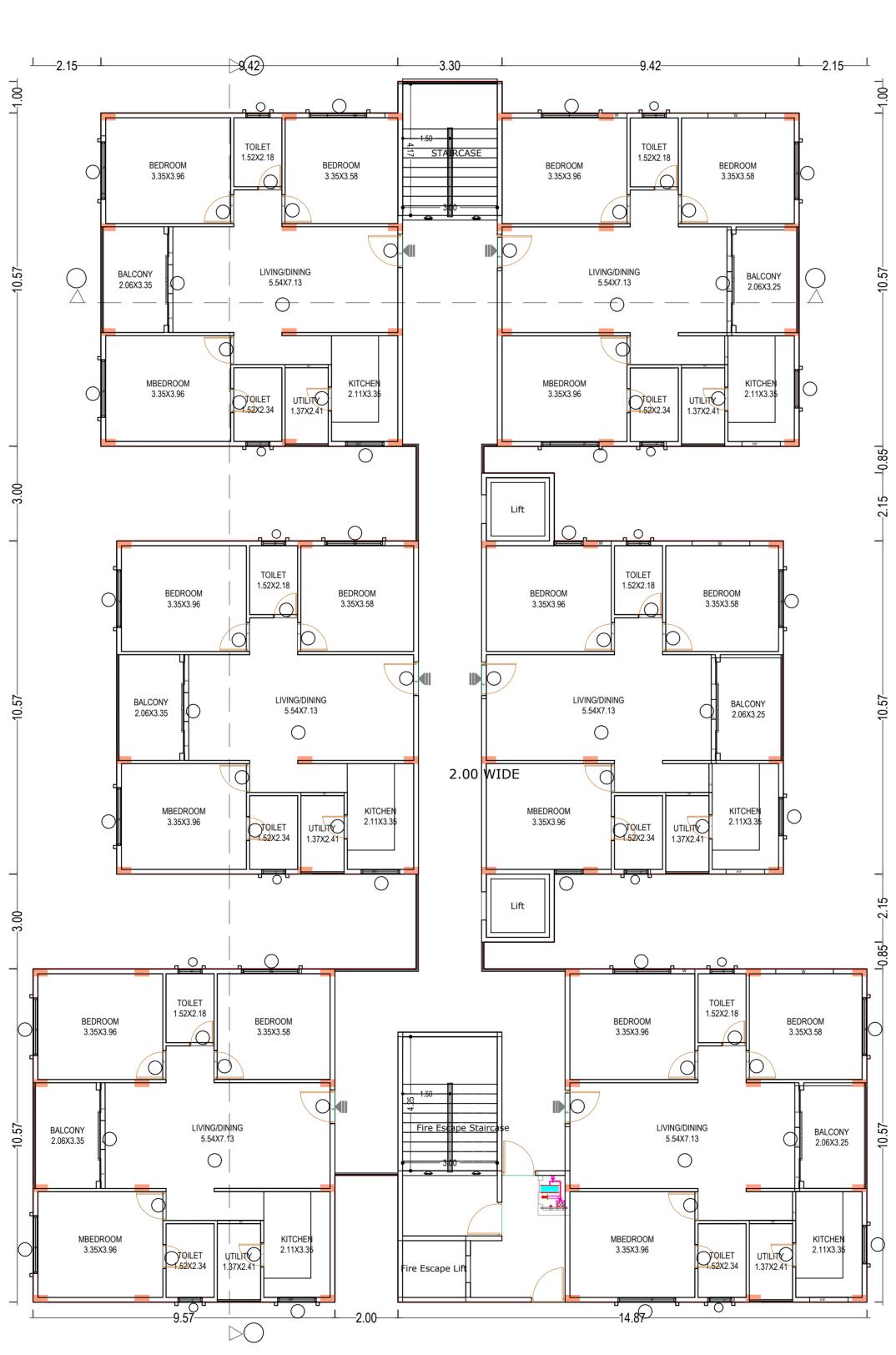




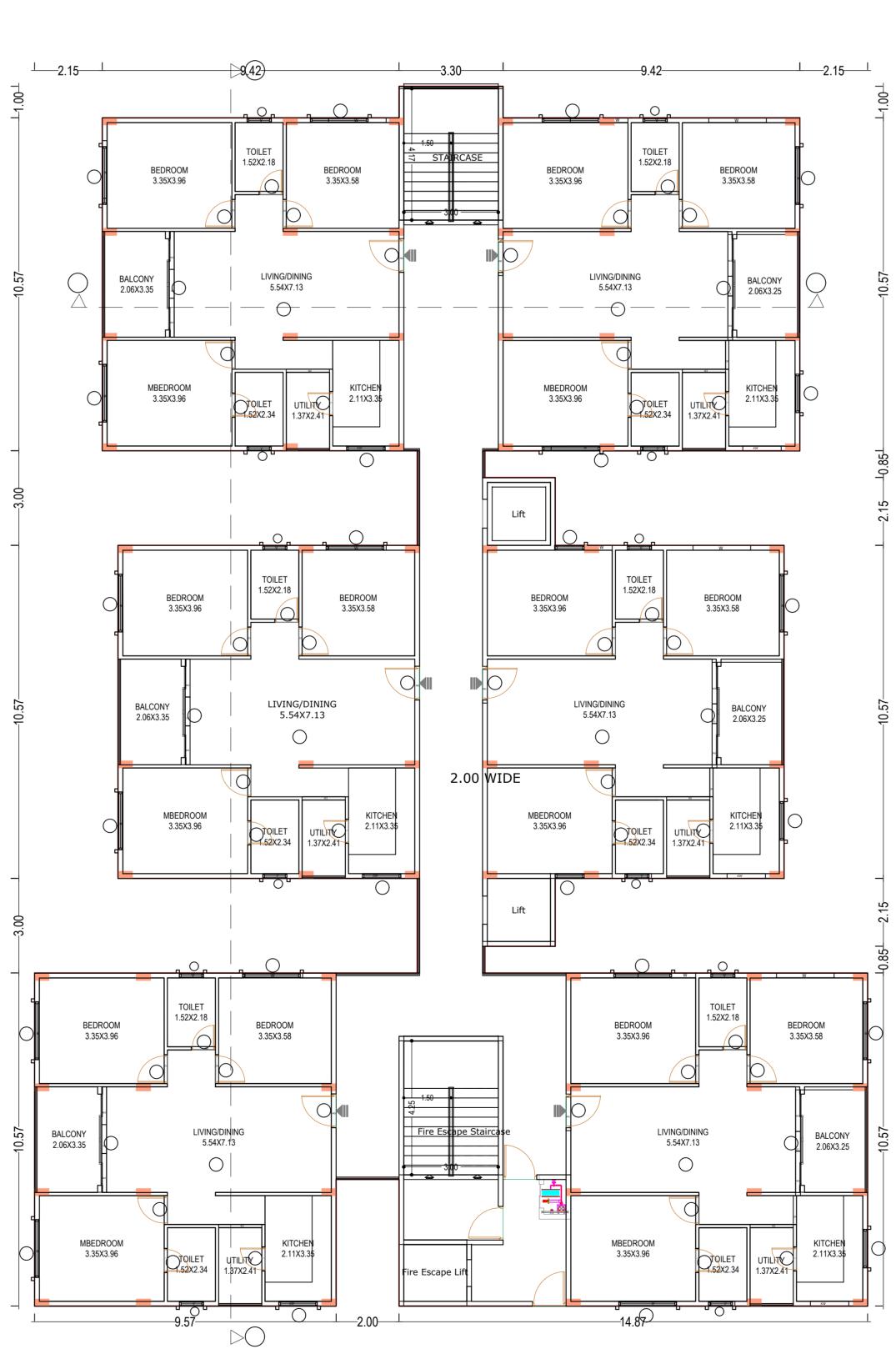




FIRST FLOOR PLAN (Proposed) (SCALE 1:100)



TYPICAL - 2, 3, 4 FLOOR PLAN (Proposed)



GROUND FLOOR PLAN (Proposed) (SCALE 1:100)

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT.

BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

Building :BLDG (BLOCK F)

Flace Nove	Total Built Lin Area (Ca mt)	Proposed Net Built up Area (Sq.mt.)	Add Area In Net Built up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.)	Dwelling Uni
Floor Name	Total Built Up Area (Sq.mt.)	Resi.	Stair	Total Net built up Area (Sq.IIIt.)	Dwelling on
Ground Floor	754.60	754.60	0.00	754.60	
First Floor	754.60	754.60	0.00	754.60	
Second Floor	754.60	754.60	0.00	754.60	
Third Floor	754.60	754.60	0.00	754.60	
Fourth Floor	754.60	754.60	0.00	754.60	
Terrace Floor	0.00	0.00	12.50	107.55	
Total:	3773.00	3773.00	12.50	3880.55	
Total Number of Same Buildings :	1				
Total :	3773.00	3773.00	12.50	3880.55	

SCHEDULE OF JOINERY:

SCHEDULE OF JO	JINEKY:			
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK F)	D1	0.63	2.10	15
BLDG (BLOCK F)	D2	0.76	2.10	90
BLDG (BLOCK F)	D1	0.91	2.10	105
BLDG (BLOCK F)	OP	0.91	2.10	15
BLDG (BLOCK F)	MD	1.07	2.10	30
SCHEDULE OF JO	DINERY:			
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK F)	V	0.76	1.00	60
BLDG (BLOCK F)	W2	1.21	2.10	15
BLDG (BLOCK F)	KW	1.22	1.20	30
BLDG (BLOCK F)	W2	1.23	2.10	15
BLDG (BLOCK F)	W2	1.32	2.10	15
BLDG (BLOCK F)	W2	1.37	1.20	30
BLDG (BLOCK F)	W2	1.41	2.10	15
BLDG (BLOCK F)	W	1.81	1.20	05
BLDG (BLOCK F)	W	1.83	1.20	25
BLDG (BLOCK F)	W	1.83	1.37	75

provisions of NBC of 2005.

The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up area as per sanctioned plan.

The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan only to the permitted built-up area as per sanctioned plan
The Services like Sanitation, Plumbing, Fire Safety requirements, lifts,
electrical installations etc., shall be executed under the supervision
of Qualified Technical Personnel.
Architect / Structural Engineer if changed, the consent of the previous
Architect / Structural Engineer is required and to be intimated to the
GHMC. during the building construction and should strictly adhere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHMC after providing all the regular service connections to each portion of the building and duty substition the following (i) Building Complete. aning inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

e formed before releasing of Occupancy Certificate

Certificate.

4. Transformer is not allowed in Tot-lot.
The permission accorded does not confer any ownership rights, At a later stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act 1955.
If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees.

Sanctioned Plan shall be followed strictly while making the constructions

on.

Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view.

Commencement Notice shall be submitted by the applicant before commenr ement of the building U/s 440 of HMC Act.

Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act.

Occupancy Certificate is compulsory before occupying any building. Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate.

Approval should be obtained separately for any modification in Plantation shall be done along the periphery and also in front

Rain Water Harvesting Structure (percolation pit) shall be constructed Space for Transformer shall be provided in the site keeping the safety

of the residents in view.

Garbage House shall be made within the premises
Cellar and stills approved for parking in the plan should be used excl
usively for parking of vehicles without partition walls & rolling shut
ters and the same should not be converted or misused for any other pur
pose at any time in future as per undertaking submitted.
No. of units as sanctioned shall not be increased without prior approval
of GHMC at any time in future
This sanction is accorded on surrendering of Road affected portion of
the site to GHMC free of cost with out claiming any compensation at
any time as per the undertaking submitted.
Strip of greenery on periphery of the site shall be maintained as per
rules.

rules.

Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended.

The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976.

The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.

A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained.

No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be allowed.

allowed.

If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled.

All Public and Semi Public buildings above 300Sq.mts. shall be constructed to provide facilities to physically handicapped persons as per provisions of NBC of 2005.

if to be dided in the Cellar as per the norms before releasing the Occupancy

To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.

ix) Hose Reel, Down Corner. xi) Electrical Wiring and installation shall be certified by the electrical engineers to ensure electrical fire safety. xii) Transformers shall be protected with 4 hours rating fire resist constructions.

> xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set backs area The Builder/Developer shall register the project in the RERA website after the launch in July 2018 No Cellar excavation is allowed till the end of Monsoon period i.e 30th September 2019.

5:00 FIRE WaterTank Overhead Water Tank

TERRACE FLOOR PLAN (SCALE 1:100)

PLAN SHOWING THE PROPOSED SURVEY NO 19 SITUATED AT , MEDCHAL A.P.H.B. Main Road BELONGING TO : Mr./Ms./Mrs M/s. GULMOHAR RESIDENCY & JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri. Uttamlal Mehta REP BY: Supervisor_C ABDUL NAYEEM NASIR

APPROVAL NO: 1/C1/09930/2019 SHEET NO.: 10 / 13 Layout Plan Details

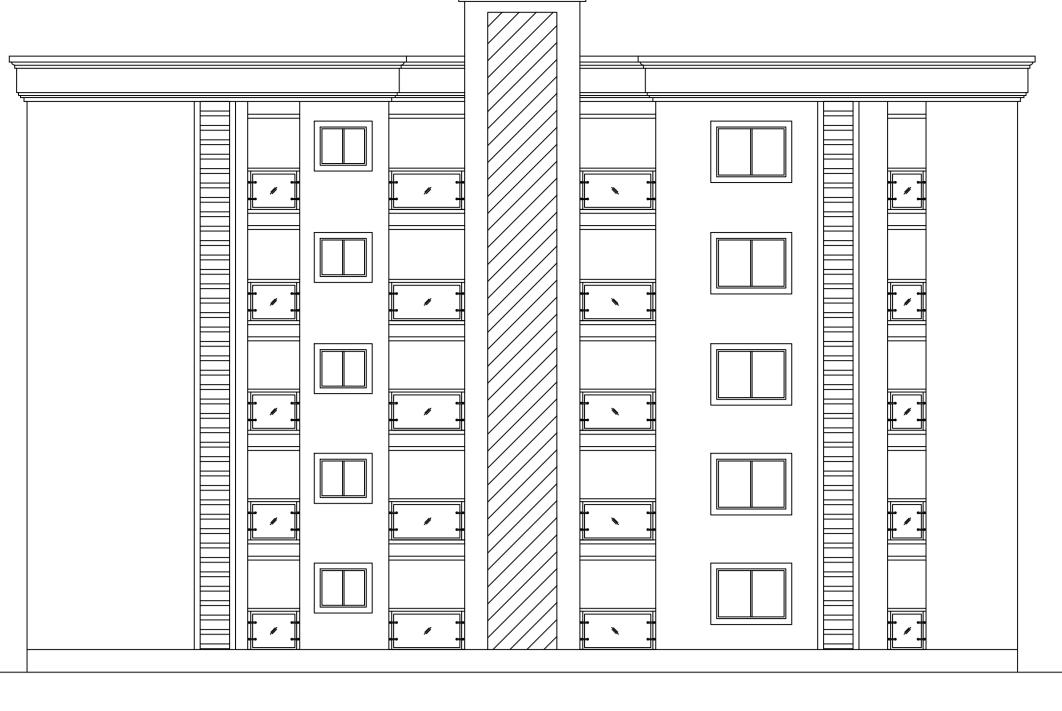
AREA STATEMENT		
PROJECT DETAIL :	I	l
Inward_No : 1/C1/19077/2017	Plot Use : Residentia	 I
Project Type : Building Permission	Plot SubUse : ResiCo	
Nature of Development : New	PlotNearbyNotifiedRe	eligiousStructure : l
SubLocation : New Areas / Approved Layout Areas	Land Use Zone : Res	
Village Name : A.P.H.B. Main Road	Land SubUse Zone :	NA
Mandal : UPPAL	Abutting Road Width	
	Plot No : NA	
	Survey No. : 19	
	North side details : V	acant Land -
	South side details : R	
	East side details : Otl	hers - NFC CAMPI
	West side details : Va	acant Land -
AREA DETAILS :		SQ.M
AREA OF PLOT (Minimum)	(A)	32392
Deduction for NetPlot Area		
Road Affected Area / Road Widening Are	ea	9627
Total		9627
NET AREA OF PLOT	(A-Deductions)	22764
Road Affected Area		9627
Amenity Area		2002
Total		11630
BALANCE AREA OF PLOT	(A-Deductions)	20761
AccessoryUse Area		14
Vacant Plot Area		14255
COVERAGE		•
Proposed Coverage Area (37.31 %)		8494
Net BUA		•
Residential Net BUA		40467
Commercial Net BUA		2002
BUILT UP AREA		
		24249
		42470
MORTGAGE AREA		5288
EXTRA INSTALLMENT MORTGAGE AREA		С

Proposed Number of Parkings

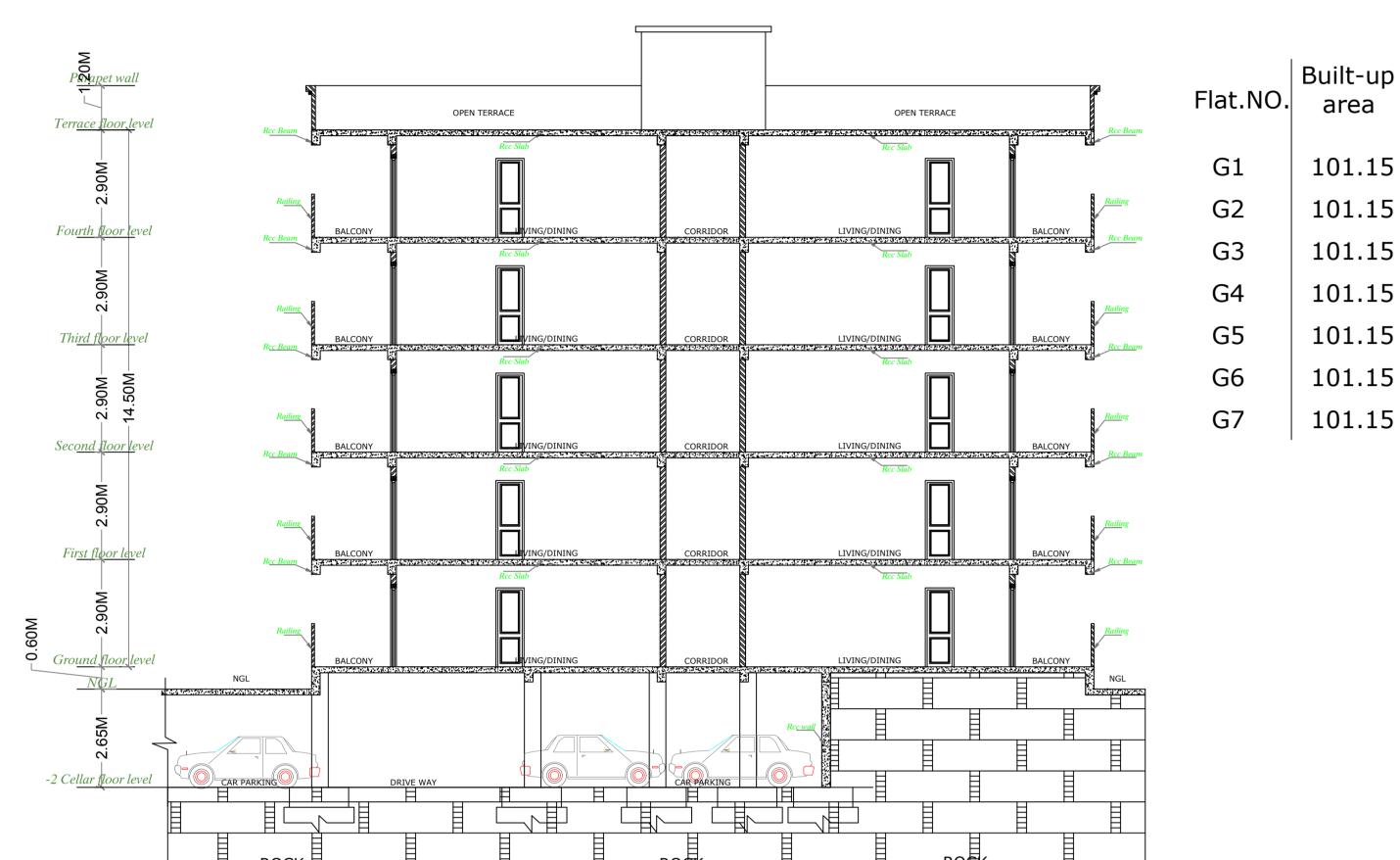
PLOT BOUNDARY ABUTTING ROAD PROPOSED CONSTRUCTION ROAD WIDENING AREA EXISTING (To be retained) EXISTING (To be demolished)

> OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE STRUCTURAL ENGINEER'S NAME AND SIGNATURE

Building: BLDG (BLOCK G)



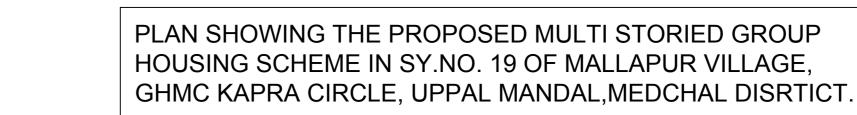




SECTION A-A

Parapet wall OPEN TERRACE OPEN TERRACE

SECTION B-B



BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

Building: BLDG (BLOCK G)

0						
Floor Name	Total Built Up Area (Sq.mt.)	Proposed Net Built up Area (Sq.mt.)	Add Area In Net Bu	uilt up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.)	Dwelling Units (No
FIOOI Name	Total Built Op Area (Sq.IIIt.)	Resi.	Stair	Lift	Total Net Built up Alea (34.111.)	Dwelling Offics (No
Ground Floor	886.52	886.52	0.00	0.00	886.52	C
First Floor	886.03	886.03	0.00	0.00	886.03	C
Second Floor	886.03	886.03	0.00	0.00	886.03	C
Third Floor	886.03	886.03	0.00	0.00	886.03	(
Fourth Floor	886.03	886.03	0.00	0.00	886.03	C
Terrace Floor	0.00	0.00	12.50	4.01	111.56	C
Total:	4430.64	4430.64	12.50	4.01	4542.20	3
Total Number of Same Buildings :	1					
Total	4420.64	4420.64	10.50	4.04	4540.00	1

SCHEDULE OF JOINERY:

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK G)	D1	0.56	2.10	15
BLDG (BLOCK G)	D2	0.76	2.10	102
BLDG (BLOCK G)	D1	0.91	2.10	121
BLDG (BLOCK G)	OP	0.91	2.10	15
BLDG (BLOCK G)	MD	1.07	2.10	34
SCHEDULE OF JO	DINERY:			
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK G)	V	0.76	1.00	68
BLDG (BLOCK G)	W2	1.21	2.10	19
BLDG (BLOCK G)	KW	1.22	1.20	34
BLDG (BLOCK G) BLDG (BLOCK G)	KW W2	1.22 1.23	1.20 2.10	34 19
, ,				
BLDG (BLOCK G)	W2	1.23	2.10	19
BLDG (BLOCK G) BLDG (BLOCK G)	W2 W2	1.23 1.37	2.10 1.20	19 34
BLDG (BLOCK G) BLDG (BLOCK G) BLDG (BLOCK G)	W2 W2 W2	1.23 1.37 1.38	2.10 1.20 2.10	19 34 15

To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.

aning inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

e formed before releasing of Occupancy Certificate

Certificate.

4. Transformer is not allowed in Tot-lot.
The permission accorded does not confer any ownership rights, At a later stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act 1955.
If construction is not commenced within one year, building application shall be submitted affesh duly paying required fees.
Sanctioned Plan shall be followed strictly while making the constructi

to be

ix) Hose Reel, Down Corner. xi) Electrical Wiring and installation shall be certified by the electrical engineers to ensure electrical fire safety. xii) Transformers shall be protected with 4 hours rating fire resist constructions.

xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set backs area The Builder/Developer shall register the project in the RERA website after the launch in July 2018 No Cellar excavation is allowed till the end of Monsoon period i.e

nctioned Plan copy as attested by the GHMC shall be displayed at the ruction site for public view Project Type : Building Permission construction site for public view.

Commencement Notice shall be submitted by the applicant before comment ement of the building U/s 440 of HMC Act.

Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act.

Occupancy Certificate is compulsory before occupying any building.

Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate. SubLocation: New Areas / Approved Layout Areas Approval should be obtained separately for any modification in Plantation shall be done along the periphery and also in front Rain Water Harvesting Structure (percolation pit) shall be constructed Space for Transformer shall be provided in the site keeping the safety of the residents in view.

Garbage House shall be made within the premises
Cellar and stilts approved for parking in the plan should be used excl
usively for parking of vehicles without partition walls & rolling shut
ters and the same should not be converted or misused for any other pur
pose at any time in future as per undertaking submitted.

No. of units as sanctioned shall not be increased without prior approval
of GHMC at any time in future
This sanction is accorded on surrendering of Road affected portion of
the site to GHMC free of cost with out claiming any compensation at
any time as per the undertaking submitted. AREA DETAILS AREA OF PLOT (Minimum) any time as per the undertaking submitted.

Strip of greenery on periphery of the site shall be maintained as per ules.

Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended.

The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976.

The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.

A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained.

No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be allowed. Deduction for NetPlot Area Road Affected Area / Road Widening Area NET AREA OF PLOT allowed.

If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled.

All Public and Semi Public buildings above 300Sq.mts. shall be constructed to provide facilities to physically handicapped persons as per provisions of NBC of 2005.

The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up area as per sanctioned plan.

The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan Road Affected Area Amenity Area BALANCE AREA OF PLO AccessoryUse Area only to the permitted built-up area as per sanctioned plan
The Services like Sanitation, Plumbing, Fire Safety requirements, lifts,
electrical installations etc., shall be executed under the supervision
of Qualified Technical Personnel.
Architect / Structural Engineer if changed, the consent of the previous
Architect / Structural Engineer is required and to be intimated to the Proposed Coverage Area (37.31 GHMC.
Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable).

As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable),a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect Structural Engineer and site applies. Residential Net BUA Commercial Net BUA **BUILT UP AREA** during the bulloning construction and should strictly admere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHM after providing all the regular service connections to each portion MORTGAGE AREA EXTRA INSTALLMENT MORTGAGE AREA

> ABUTTING ROAD PROPOSED CONSTRUCTION ROAD WIDENING AREA EXISTING (To be retained) EXISTING (To be demolished)

PLAN SHOWING THE PROPOSED

SURVEY NO 19
SITUATED AT , MEDCHAL

BELONGING TO : Mr./Ms./Mrs

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

Plot Use : Residential

Plot SubUse : ResiComm Bldg

Land SubUse Zone: NA

Plot No : NA Survey No. : 19

(A-Deductions)

(A-Deductions)

Abutting Road Width: 30.00

North side details : Vacant Land -

West side details : Vacant Land -

East side details : Others - NFC CAMPUS

A.P.H.B. Main Road

PROJECT DETAIL

Inward_No: 1/C1/19077/2017

Overhead WaterTank Overhead WaterTank Overhead WaterTail

TERRACE FLOOR PLAN (SCALE 1:100)

9.57	5.30	1.66	7.26	2.65
BEDROOM 3.35X3.96 TOILET 1.52X2.18 BEDROOM 3.35X3.58				3.51
5.55,0.50				
	41			-
LIVING/DINING				
BALCONY 2.06X3.35 LIVING/DIN ING 5.54X7.13	1.50 17 STAIRC	ASE		
				100
	300	<u></u>		7.97
MBEDROOM 3.35X3.96 TOILET 1.37X2.41 KITCHEN 2.11X3.35				
				_
3.00				2.15
		Lift		
TOILET 1.52X2.18			TOILET 1.52X2.18	
BEDROOM 3.35X3.96	BEDROOM 3.35X3.58	BEDROOM 3.35X3.96	BEDROOM 3.35X3.58	\circ
				_
BALCONY 2.06X3.35 LIVING/DINING 5.54X7.13		LIVINO 5.5	G/DINING 4X7.13 BAL 2.06	CONY X3.25 CONY
MBEDROOM 3.35X3.96	KITCHEN 2.11X3.35	MBEDROOM 3.35X3.96	KITC 2.11	HEN (3.35
3.35X3.96 TOILET UTILITY 1.52X2.34 UTILITY 1.37X2.4			1.52X2.34 UTILITY 2.11.	
3.00				3.00
			, O ,	9
	1.8	37 WIDE		
BED ROOM 3.35X3.96	BED ROOM 3.35X3.58	BEDROOM 3.35X3.96	TOILET 1.52X2.18 BEDROOM 3.35X3.58	
3.35X3.96	3.35X3.58	3.3583.96	3.3983.36	
BALCONY LIVING/DINING 2.06X3.35 5.54X7.13	○-■	LIVING	G/DINING 4X7.13 BAL	CONA 72
BALCONY 2.06X3.35 LIVING/DINING 5.54X7.13		5.5	4X7.13	CONY X3.25
				
M.BED ROOM				
3.35X3.96 OILET UTILITY 1.37X2.	KITCHEN 2.11X3.35	MBEDROOM 3.35X3.96	TOILET UTIL N 2.11.	(3.35
	O		U	2.15
3.00		Lift		
				158.0
TOILET 1.52X2.18			TOILET 1.52X2.18	
BEDROOM 3.35X3.96 BEDROOM 3.35X3.58			BEDROOM 3.35X3.96	BEDROOM 3.35X3.58
		Sthirenes		
	4. 4. 1.50 1.50 1.25	scape Staircase	7	
BALCONY 2.06X3.35 LIVING/DINING 5.54X7.13			LIVING/DINING 5.54X7.13	BALCONY 2.06X3.25 0.
	300		O	
			Q	
MBEDROOM KITCHEN			MBEDROOM 3.35X3.96	KITCHEN 2.11X3.35
3.35X3.96 TOILET UTILITY 2.11X3.35 1.52X2.34	Fire Escape Lift		3.35X3.96 TOILET	1.37X2.41

GROUND FLOOR PLAN (Proposed) (SCALE 1:100)

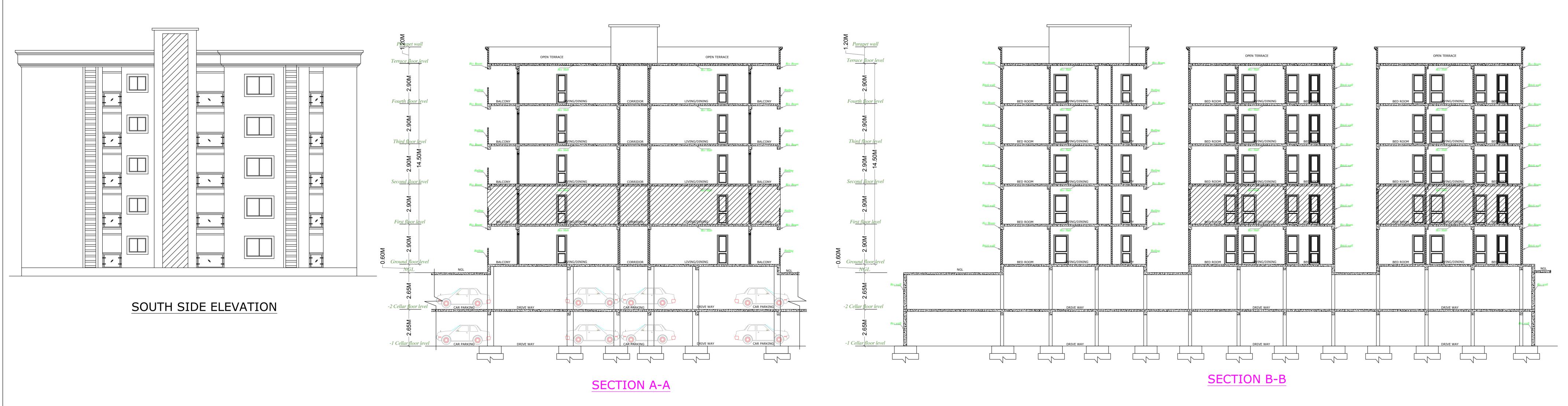




BEDROOM 3.35X3.58

TYPICAL - 2, 3, 4 FLOOR PLAN (Proposed) (SCALE 1:100)

Building: BLDG (BLOCK H)



PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT

BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

Building :BLDG (BLOCK H)

Floor Name	Total Built Up Area (Sq.mt.)	Proposed Net Built up Area (Sq.mt.)	Add Area In Net Built up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.)	Dwelling Units (No.)
FIOOI Name	Total Built Op Alea (Sq.IIIt.)	Resi.	Stair	Total Net Built up Alea (04.111.)	Dwelling Offits (No.)
Ground Floor	887.71	887.71	0.00	887.71	07
First Floor	887.71	887.71	0.00	887.71	07
Second Floor	887.71	887.71	0.00	887.71	07
Third Floor	887.71	887.71	0.00	887.71	07
Fourth Floor	887.71	887.71	0.00	887.71	07
Terrace Floor	0.00	0.00	12.50	107.50	00
Total:	4438.55	4438.55	12.50	4546.05	35
Total Number of Same Buildings :	1				
Total:	1120 EE	1129 55	12.50	4546.05	35

SCHEDULE OF JOI	INERY:			
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK H)	D1	0.56	2.10	18
BLDG (BLOCK H)	D2	0.76	2.10	99
BLDG (BLOCK H)	D1	0.91	2.10	114
BLDG (BLOCK H)	OP	0.91	2.10	18
BLDG (BLOCK H)	MD	1.07	2.10	35
SCHEDULE OF JOI	INERY:			
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK H)	V	0.76	1.00	66
BLDG (BLOCK H)	W2	1.21	2.10	15
BLDG (BLOCK H)	KW	1.22	1.20	33
BLDG (BLOCK H)	W2	1.23	2.10	15
BLDG (BLOCK H)	W2	1.37	1.20	33
BLDG (BLOCK H)	W2	1.38	2.10	18
BLDG (BLOCK H)	W2	1.41	2.10	18
BLDG (BLOCK H)	W	1.83	1.20	36
BLDG (BLOCK H)	W	1.83	1.37	81

rules.
Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended.

The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976.

The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.

A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained.

No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be allowed. allowed.

If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled.

All Public and Semi Public buildings above 300Sq.mts. shall be constructed to provide facilities to physically handicapped persons as per provisions of MRC of 2005. The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up area as per sanctioned plan.

The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan only to the permitted built-up area as per sanctioned plan
The Services like Sanitation, Plumbing, Fire Safety requirements, lifts,
electrical installations etc., shall be executed under the supervision
of Qualified Technical Personnel.
Architect / Structural Engineer if changed, the consent of the previous
Architect / Structural Engineer is required and to be intimated to the
GHMC conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHN after providing all the regular service connections to each portion aning inspection reports of site Engineer, structural Engineer and Architect, (iv) Insurance Policy for the completed building for a minimum period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

. Automatic Fire sprinklers may be may be provided in the cellar a ser norms before releasing of Occupancy Certificate.
2. B.T. Road sho lid be formed before releasing of Occupancy Certificate
8. STP to be

To be

nctioned Plan copy as attested by the GHMC shall be displayed at the nuction site for public view

Instruction site for public view.

Sommencement Notice shall be submitted by the applicant before comment ement of the building U/s 440 of HMC Act.

Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act.

Occupancy Certificate is compulsory before occupying any building. Public Amerilites such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate.

Plantation shall be done along the periphery and also in front

Rain Water Harvesting Structure (percolation pit) shall be constructed

of the residents in view.

Garbage House shall be made within the premises

Cellar and stilts approved for parking in the plan should be used excl

usively for parking of vehicles without partition walls & rolling shut

ters and the same should not be converted or misused for any other pur

pose at any time in future as per undertaking submitted.

No. of units as sanctioned shall not be increased without prior approval

of GHMC at any time in future

This sanction is accorded on surrendering of Road affected portion of

he site to GHMC free of cost with out claiming any compensation at

ny time as per the undertaking submitted.

Strip of greenery on periphery of the site shall be maintained as per

To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.

xii) Transformers shall be protected with 4 hours rating fire resist constructions.

xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set backs area The Builder/Developer shall register the project in the RERA website after the launch in July 2018 No Cellar excavation is allowed till the end of Monsoon period i.e 30th September 2019.

9.57 LIVING/DINING 5.54X7.13 MBEDROOM 3.35X3.96

M.BED ROOM 3.35X3.96

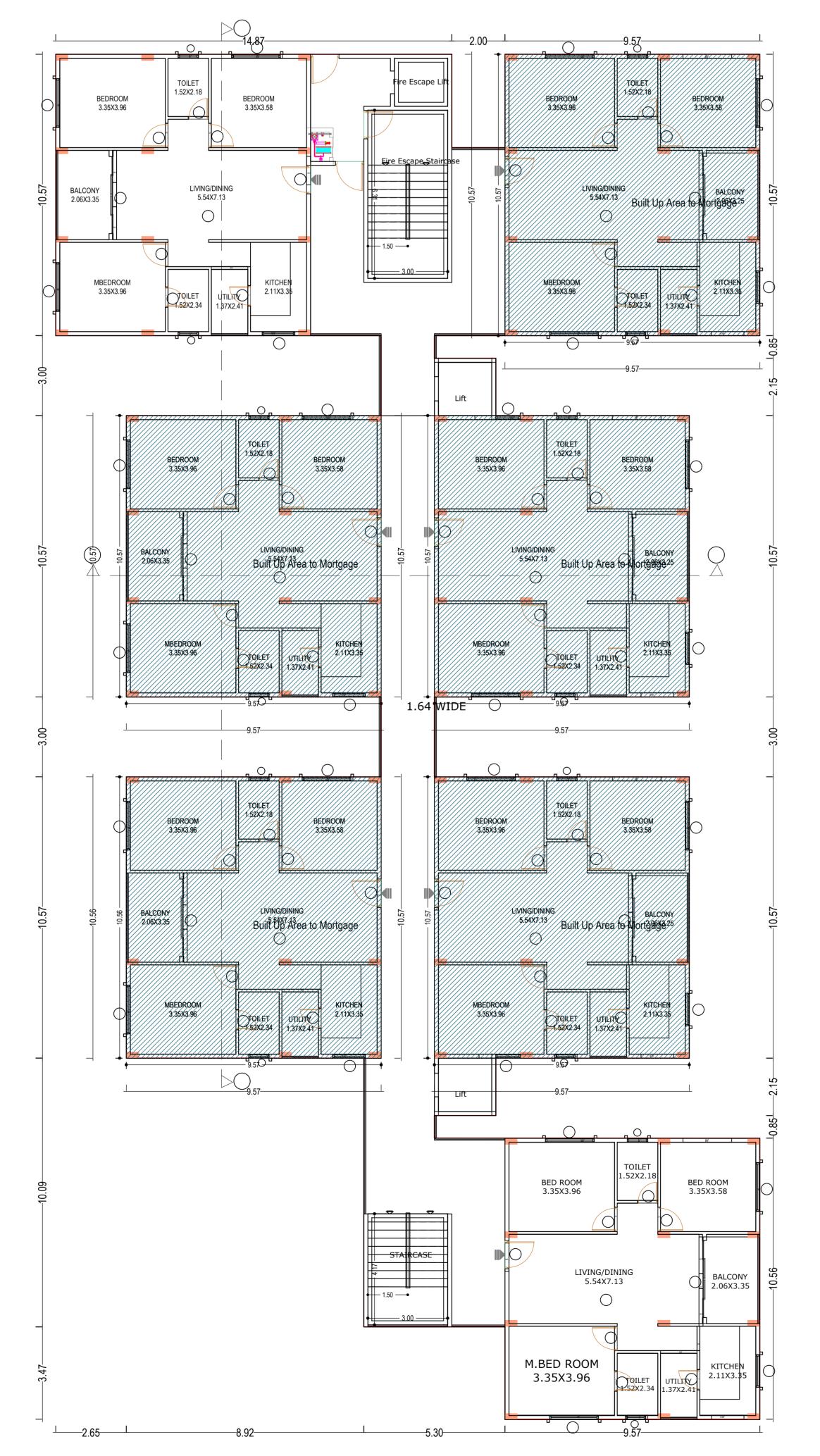
GROUND FLOOR PLAN (Proposed) (SCALE 1:100)

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)

BEDROOM 3.35X3.96

MBEDROOM 3.35X3.96

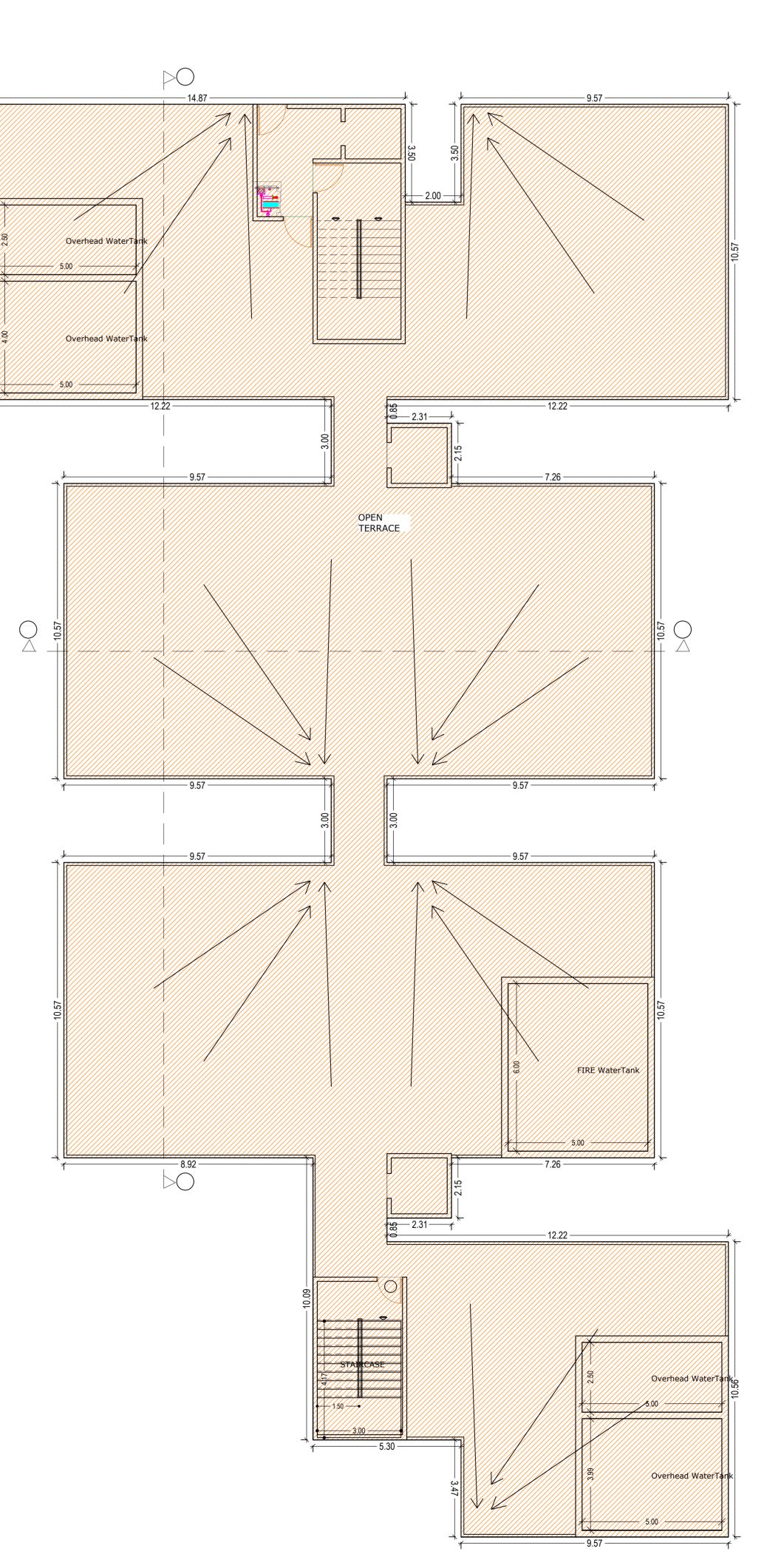
LIVING/DINING 5.54X7.13



FIRST FLOOR PLAN (Proposed) (SCALE 1:100)



TYPICAL - 2, 3, 4 FLOOR PLAN (Proposed) (SCALE 1:100)



TERRACE FLOOR PLAN (SCALE 1:100)

OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE STRUCTURAL ENGINEER'S NAME AND SIGNATURE

Note: All dimensions are in meters.

PROJECT DETAIL Inward_No: 1/C1/19077/2017 Plot SubUse : ResiComm Bldg Project Type : Building Permission

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

PLAN SHOWING THE PROPOSED

SURVEY NO 19
SITUATED AT , MEDCHAL

BELONGING TO: Mr./Ms./Mrs

A.P.H.B. Main Road

SubLocation : New Areas / Approved Layout Areas Land SubUse Zone: NA Abutting Road Width: 30.00 Plot No : NA Survey No. : 19 North side details : Vacant Land -West side details : Vacant Land -AREA OF PLOT (Minimum) Deduction for NetPlot Area Road Affected Area / Road Widening Area (A-Deductions) NET AREA OF PLOT Road Affected Area Amenity Area (A-Deductions) BALANCE AREA OF PLOT AccessoryUse Area Proposed Coverage Area (37.31 Residential Net BUA Commercial Net BUA

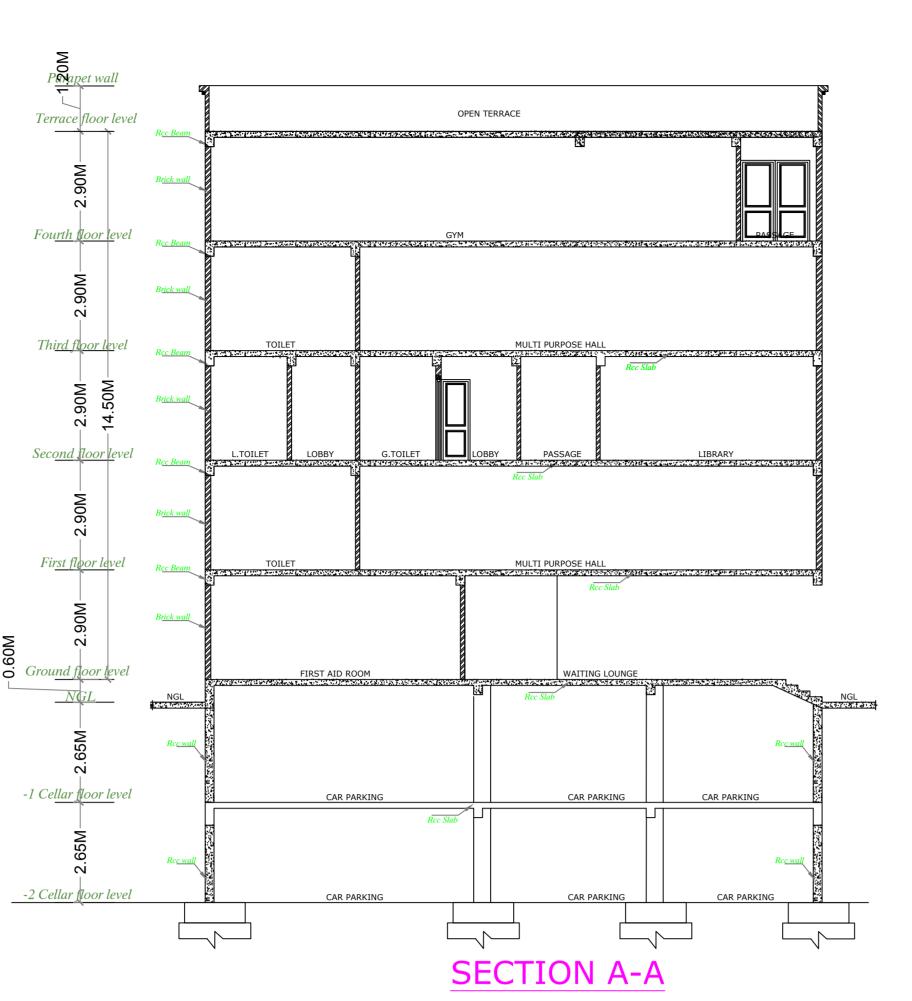
MORTGAGE AREA

EXTRA INSTALLMENT MORTGAGE AREA

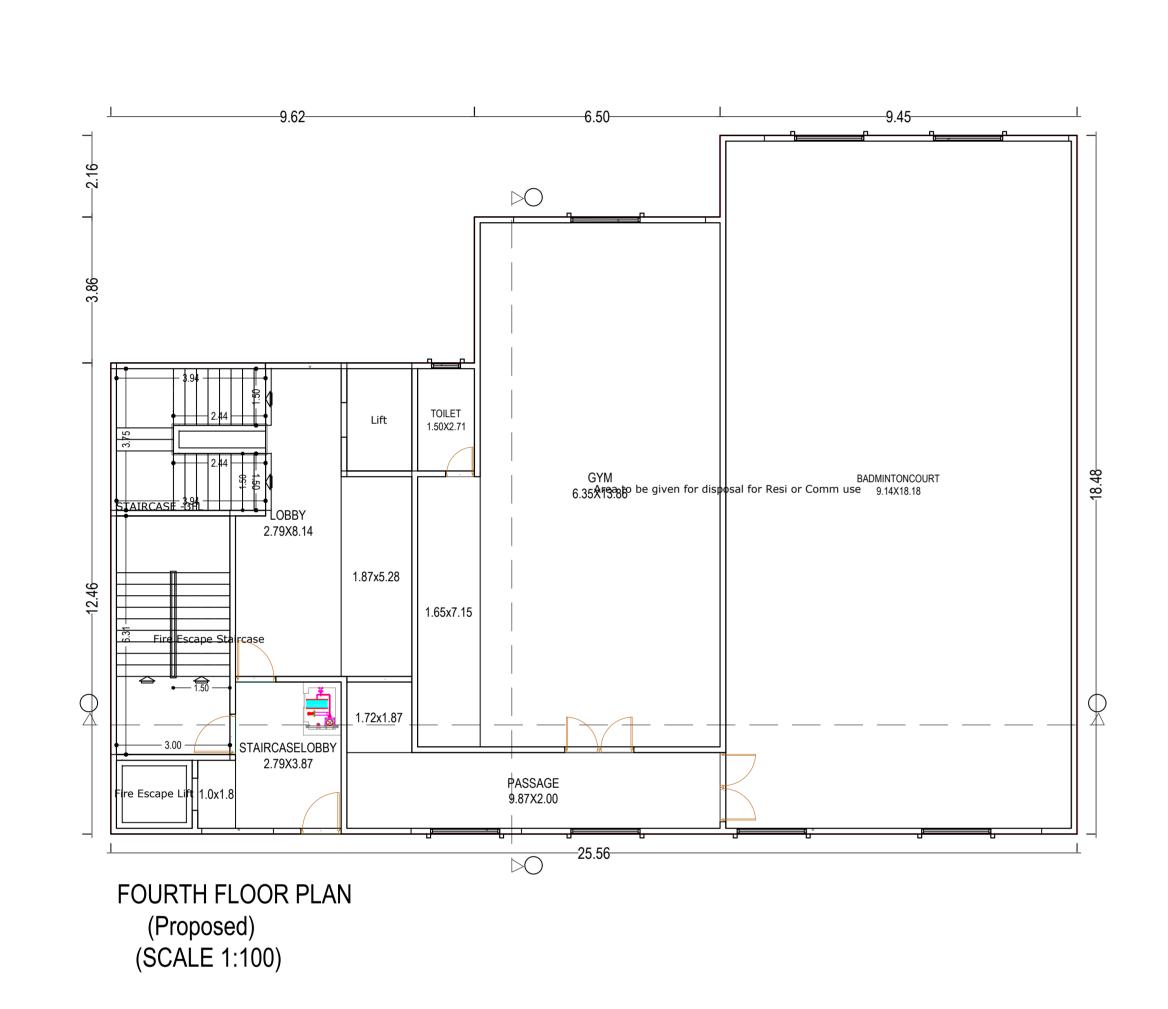
ABUTTING ROAD PROPOSED CONSTRUCTION ROAD WIDENING AREA EXISTING (To be retained) EXISTING (To be demolished)

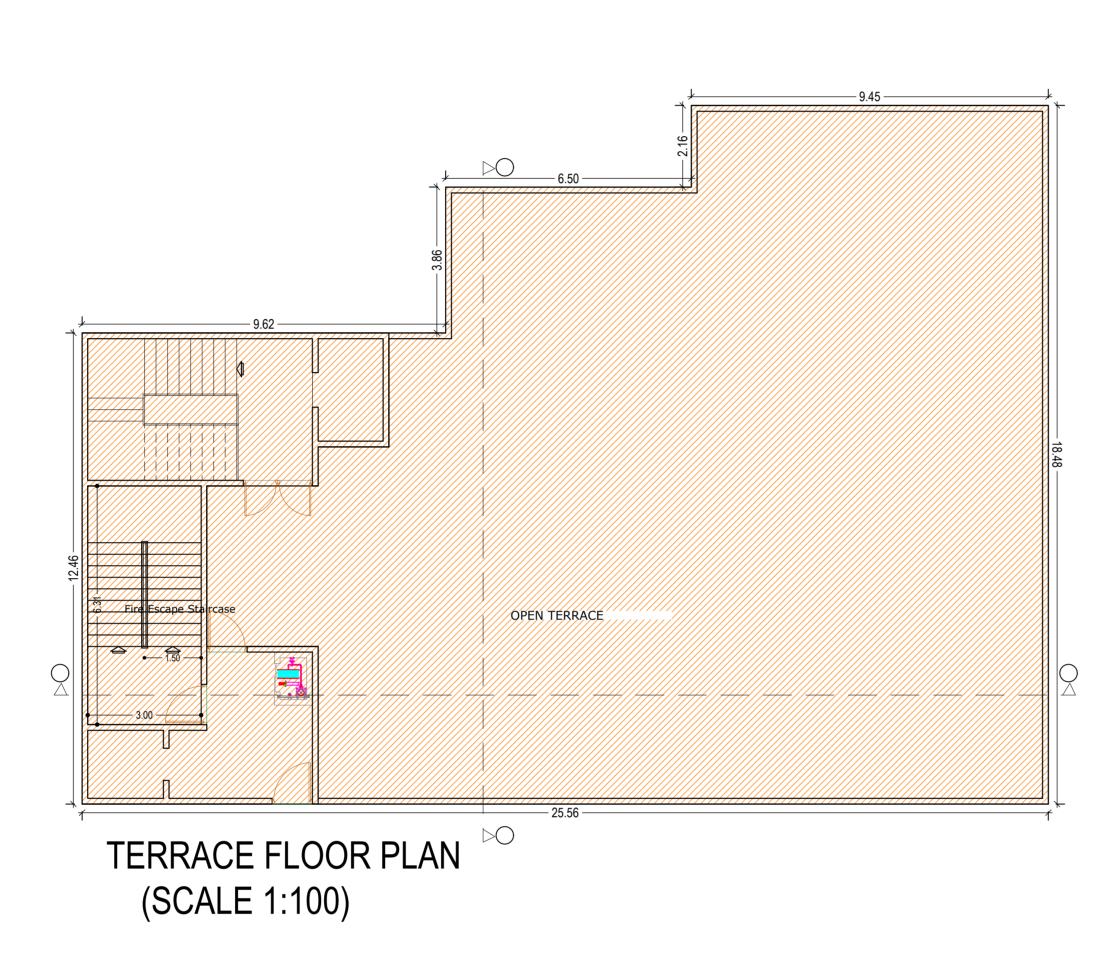
BUILDING: BLDG (AMENITY BLOCK)

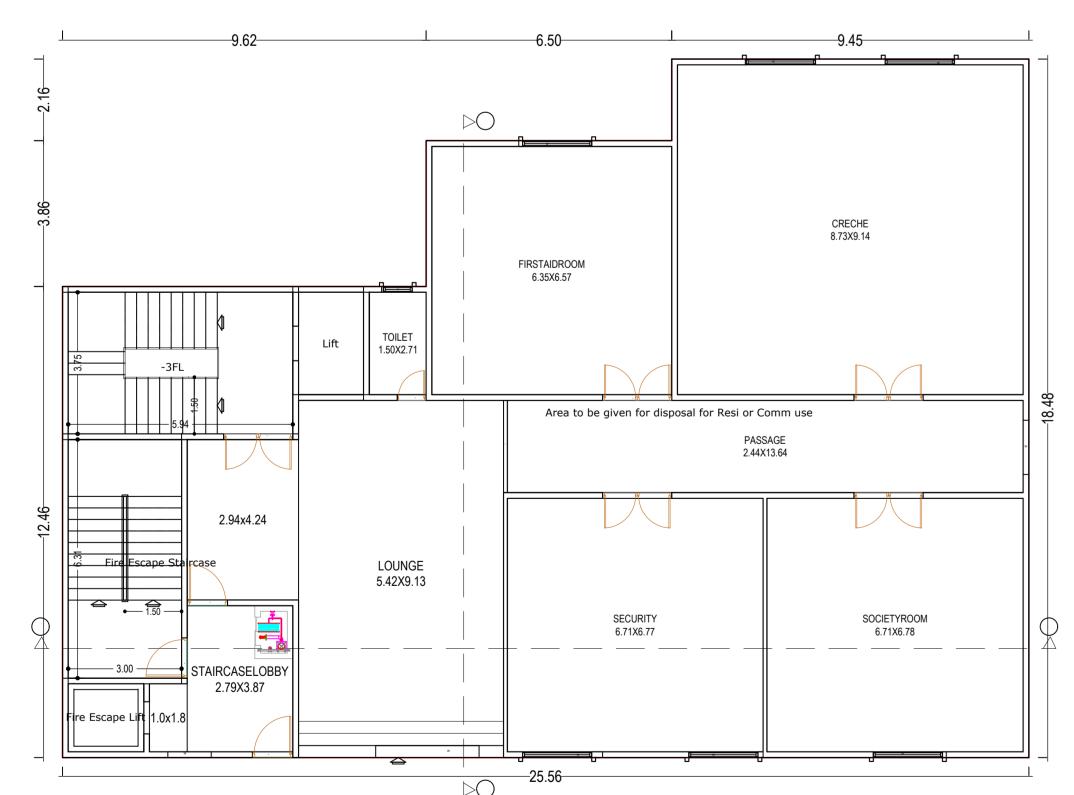


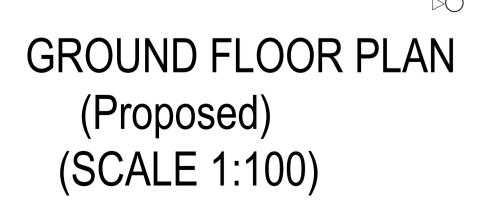


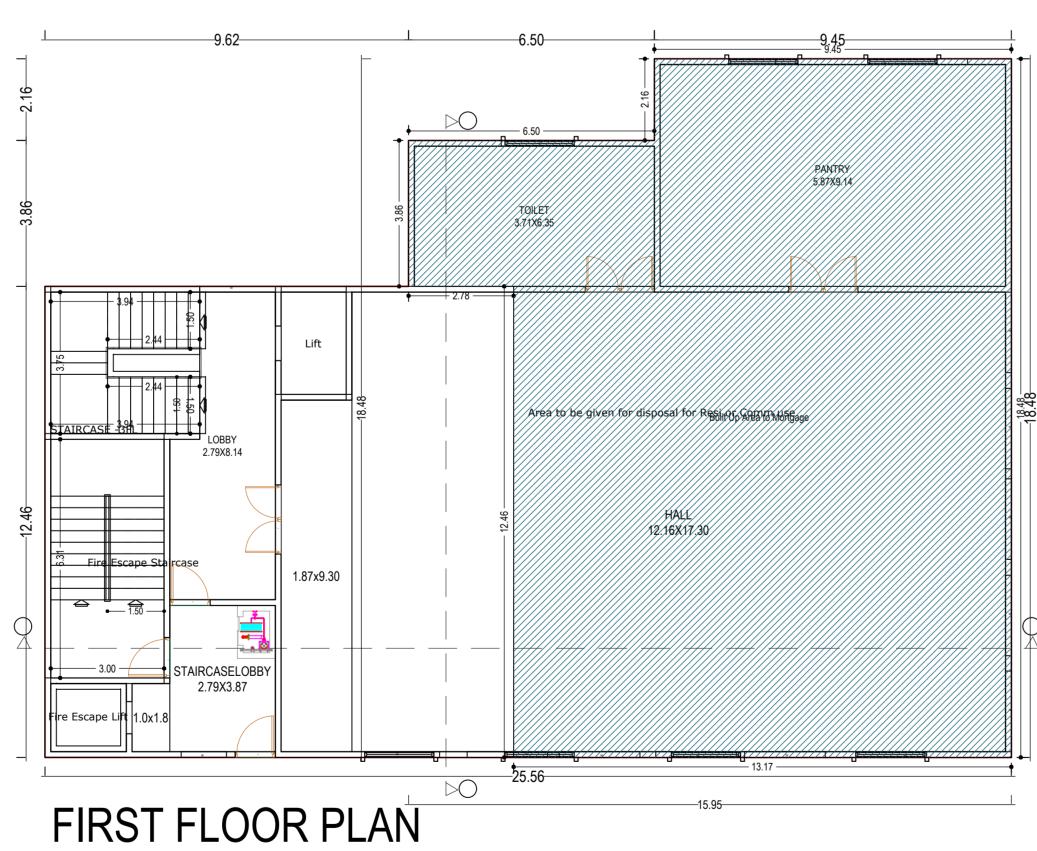
He <u>ad room le</u> vel	Rcc Beam		
Towns of floor level		OPEN TERRACE	- Innu
Terrace floor level	Roc Beam LOBBY	Rec Slab	
Fou <u>rth floor le</u> vel	Rcc Beam	GYM MULTI PURPOSE HALL Rec Slab	
W06:3 Thi <u>rd floor le</u> vel	Rcc Beam LOBBY	MULTER DE HA	
Second floor level		Rec Slab	
Wood Sirst floor level	Res Reary LOBBY	Rec Slab MULTELLE DE LA COMPANY DE LA COMPA	
Wood Ground floor level	LOBBY	Rec Slab WAITINGS WAITINGS Rec Slab GEORGE GEORGE	
NGL NGL WG997 -1 Cellar floor level	NGL Rec wall		Rec column
New September 1999 September 1990 September 1999 September 1999 September 1999 September 1999 Se	Recwall	DRIVE WAY SECTION B-B	CAR PARKING

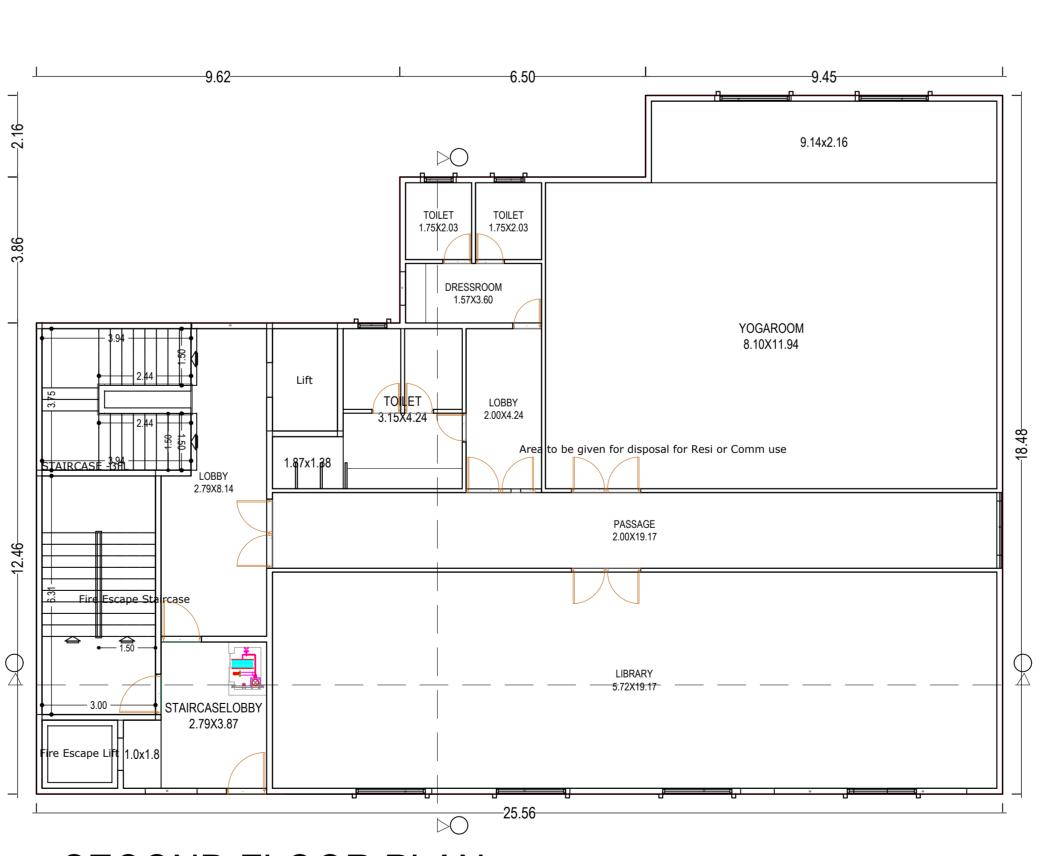












SECOND FLOOR PLAN (Proposed)

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT.

BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

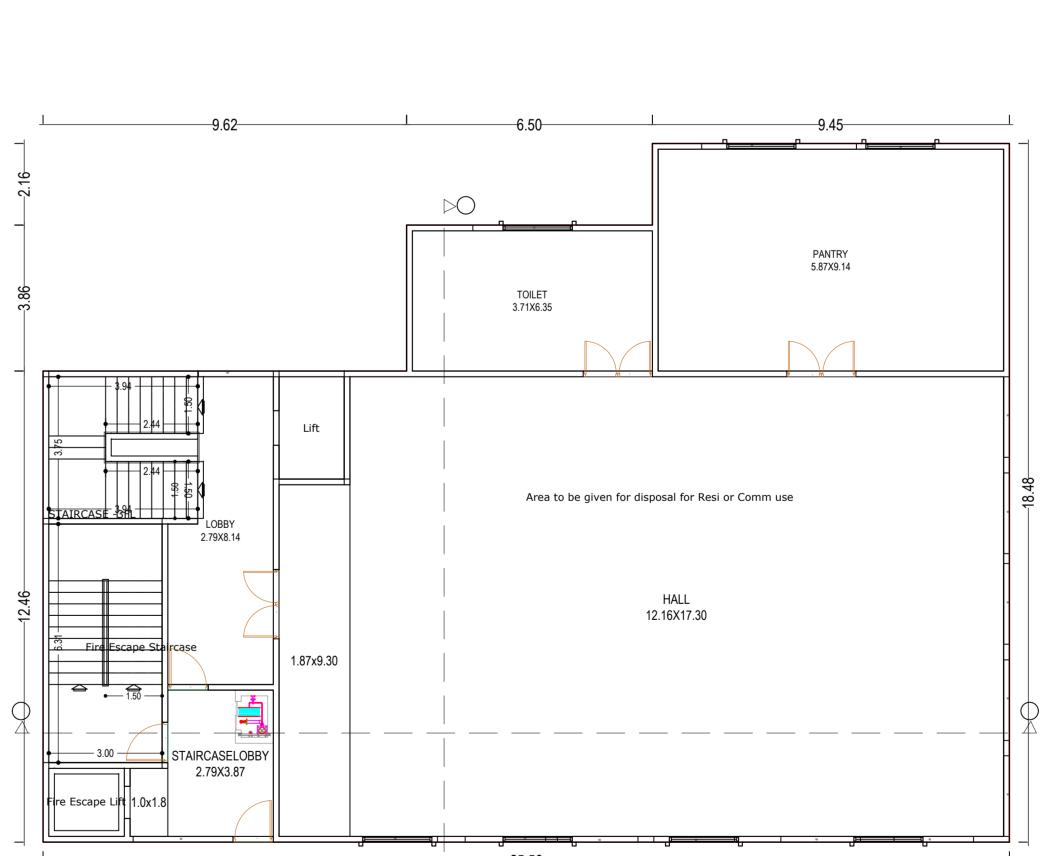
BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

Building :BLDG (AMENITY BLCK)

Floor Name	Total Built Up Area (Sq.mt.)	Proposed Net Built up Area (Sq.mt.)	Add Area In Net Built up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.	
FIOOI Name	Total Built Op Alea (Sq.IIIt.)	Commercial	Stair	Total Net Dullt up Alea (Sq.IIIt.)	
Ground Floor	400.52	400.52	0.00	400.52	
First Floor	400.52	400.52	0.00	400.52	
Second Floor	400.52	400.52	0.00	400.52	
Third Floor	400.52	400.52	0.00	400.52	
Fourth Floor	400.52	400.52	0.00	400.52	
Terrace Floor	0.00	0.00	18.94	18.94	
Total:	2002.60	2002.61	18.94	2021.54	
Total Number of Same Buildings :	1				
Total :	2002.60	2002.61	18.94	2021.54	

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (AMENITY BLCK)	D	0.55	2.10	01
BLDG (AMENITY BLCK)	D	0.76	2.10	06
BLDG (AMENITY BLCK)	D	1.05	2.10	02
BLDG (AMENITY BLCK)	D	1.07	2.10	13
BLDG (AMENITY BLCK)	D	1.72	2.10	01
BLDG (AMENITY BLCK)	D	1.83	2.10	16
BLDG (AMENITY BLCK)	D	2.44	2.10	01
CHEDULE OF JOINERY	:			
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (AMENITY BLCK)	V	0.76	1.20	02
BLDG (AMENITY BLCK)	V	0.81	1.20	02
BLDG (AMENITY BLCK)	V	0.89	1.20	01
BLDG (AMENITY BLCK)	V	0.94	1.20	01
BLDG (AMENITY BLCK)	W	1.14	1.20	01
BLDG (AMENITY BLCK)	W	1.19	1.20	01
BLDG (AMENITY BLCK)	W	1.20	1.20	01
BLDG (AMENITY BLCK)	W	1.37	1.20	01
BLDG (AMENITY BLCK)	W	1.43	1.20	02
BLDG (AMENITY BLCK)	W	1.83	1.20	01
BLDG (AMENITY BLCK)	W	1.85	1.20	01
BLDG (AMENITY BLCK)	W	1.87	1.20	01
BLDG (AMENITY BLCK)	W	1.90	1.20	01
BLDG (AMENITY BLCK)	W	1.93	1.20	04
BLDG (AMENITY BLCK)	W	1.95	1.20	01
BLDG (AMENITY BLCK)	W	1.97	1.20	01
BLDG (AMENITY BLCK)	W	1.98	1.20	04
BLDG (AMENITY BLCK)	W	2.00	1.20	01
BLDG (AMENITY BLCK)	W	2.01	1.20	02
BLDG (AMENITY BLCK)	W	2.02	1.20	01
BLDG (AMENITY BLCK)	W	2.06	1.20	01
BLDG (AMENITY BLCK)	W	2.08	1.20	01
BLDG (AMENITY BLCK)	W	2.10	1.20	04
BLDG (AMENITY BLCK)	W	2.12	1.20	01
BLDG (AMENITY BLCK)	W	2.13	1.20	17
BLDG (AMENITY BLCK)	W	2.49	1.20	01
BLDG (AMENITY BLCK)	V	2.63	1.20	01
BLDG (AMENITY BLCK)	W	2.64	1.20	01
BLDG (AMENITY BLCK)	W	2.73	1.20	01
BLDG (AMENITY BLCK)	W	2.92	1.20	01
BLDG (AMENITY BLCK)	W	5.07	1.20	01
BLDG (AMENITY BLCK) BLDG (AMENITY BLCK)	W	5.08 8.05	1.20 1.20	01 02

Floor Name	Total Built Up Area (Sq.mt.)	Proposed Net Built up Area (Sq.mt.)	Add Area in Net Built up Area (Sq.mt.)	Total Net Built up Area (S	
Floor Name	Total Built Op Alea (Sq.IIIt.)	Commercial	Stair	Total Net Built up Alea (S	
Ground Floor	400.52	400.52	0.00	4	
First Floor	400.52	400.52	0.00	4	
Second Floor	400.52	400.52	0.00	4	
Third Floor	400.52	400.52	0.00	4	
Fourth Floor	400.52	400.52	0.00	4	
Terrace Floor	0.00	0.00	18.94		
Total :	2002.60	2002.61	18.94	20	
Total Number of Same Buildings :	1				
Total :	2002.60	2002.61	18.94	20	



(Proposed) (SCALE 1:100)

PLAN SHOWING THE PROPOSED SURVEY NO 19 SITUATED AT , MEDCHAL A.P.H.B. Main Road BELONGING TO : Mr./Ms./Mrs & JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri. Uttamlal Mehta

M/s. GULMOHAR RESIDENCY APPROVAL NO: 1/C1/09930/2019

Layout Plan Details	•	
AREA STATEMENT		
PROJECT DETAIL :		
Inward_No : 1/C1/19077/2017	Plot Use : Residentia	I
Project Type : Building Permission	Plot SubUse : ResiCo	omm Bldg
Nature of Development : New	PlotNearbyNotifiedRe	eligiousStructure :
SubLocation : New Areas / Approved Layout Areas	Land Use Zone : Res	idential
Village Name : A.P.H.B. Main Road	Land SubUse Zone :	NA
Mandal : UPPAL	Abutting Road Width	: 30.00
	Plot No : NA	
	Survey No. : 19	
	North side details : Va	acant Land -
	South side details : R	OAD WIDTH - 30
	East side details : Oth	hers - NFC CAMP
	West side details : Va	acant Land -
AREA DETAILS :		SQ.M
AREA OF PLOT (Minimum)	(A)	3239
Deduction for NetPlot Area	1	-
Road Affected Area / Road Widening Are	а	962
Total		962
NET AREA OF PLOT	(A-Deductions)	2276
Road Affected Area		962
Amenity Area		200
Total		1163
BALANCE AREA OF PLOT	(A-Deductions)	2076
AccessoryUse Area		1
Vacant Plot Area		1425
COVERAGE		
Proposed Coverage Area (37.31 %)		849
Net BUA		
Residential Net BUA		4046
Commercial Net BUA		200
BUILT UP AREA		
		2424
		4247
MORTGAGE AREA		528
		

EXTRA INSTALLMENT MORTGAGE AREA

Proposed Number of Parkings

PROPOSED CONSTRUCTION

ROAD WIDENING AREA EXISTING (To be retained) EXISTING (To be demolished)

aning inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like; To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts. PLOT BOUNDARY ABUTTING ROAD

e formed before releasing of Occupancy Certificate

Certificate.

4. Transformer is not allowed in Tot-lot.
The permission accorded does not confer any ownership rights, At a later stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act 1955.
If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees.
Sanctioned Plan shall be followed strictly while making the construction.

on.

Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view.

Commencement Notice shall be submitted by the applicant before commencement of the building U/s 440 of HMC Act.

Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act.

Occupancy Certificate is compulsory before occupying any building.

Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate.

Approval should be obtained separately for any modification in

e Plantation shall be done along the periphery and also in front

Rain Water Harvesting Structure (percolation pit) shall be constructed Space for Transformer shall be provided in the site keeping the safety

of the residents in view.

Garbage House shall be made within the premises
Cellar and stills approved for parking in the plan should be used excl
usively for parking of vehicles without partition walls & rolling shut
ters and the same should not be converted or misused for any other pur
pose at any time in future as per undertaking submitted.
No. of units as sanctioned shall not be increased without prior approval
of GHMC at any time in future
This sanction is accorded on surrendering of Road affected portion of
the site to GHMC free of cost with out claiming any compensation at
any time as per the undertaking submitted.
Strip of greenery on periphery of the site shall be maintained as per
rules.

rules.

Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended.

The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976.

The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.

A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained.

No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be allowed.

allowed.

If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled.

All Public and Semi Public buildings above 3005q mts. shall be constructed to provide facilities to physically handicapped persons as per provisions of NBC of 2005.

The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up area as per sanctioned plan.

The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan.

only to the permitted built-up area as per sanctioned plan
The Services like Sanitation, Plumbing, Fire Safety requirements, lifts,
electrical installations etc., shall be executed under the supervision
of Qualified Technical Personnel.
Architect / Structural Engineer if changed, the consent of the previous
Architect / Structural Engineer is required and to be intimated to the
GHMC.

GHMC.

Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable).

As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable).a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action.b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the

during the building construction and should strictly adhere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHM after providing all the regular service connections to each portion of the building and duly submitting the following (i) Building Completed as the standard duly certifying that the building is completed as part the sentioned plan (ii) Structural Stability.

if to be dided in the Cellar as per the norms before releasing the Occupancy

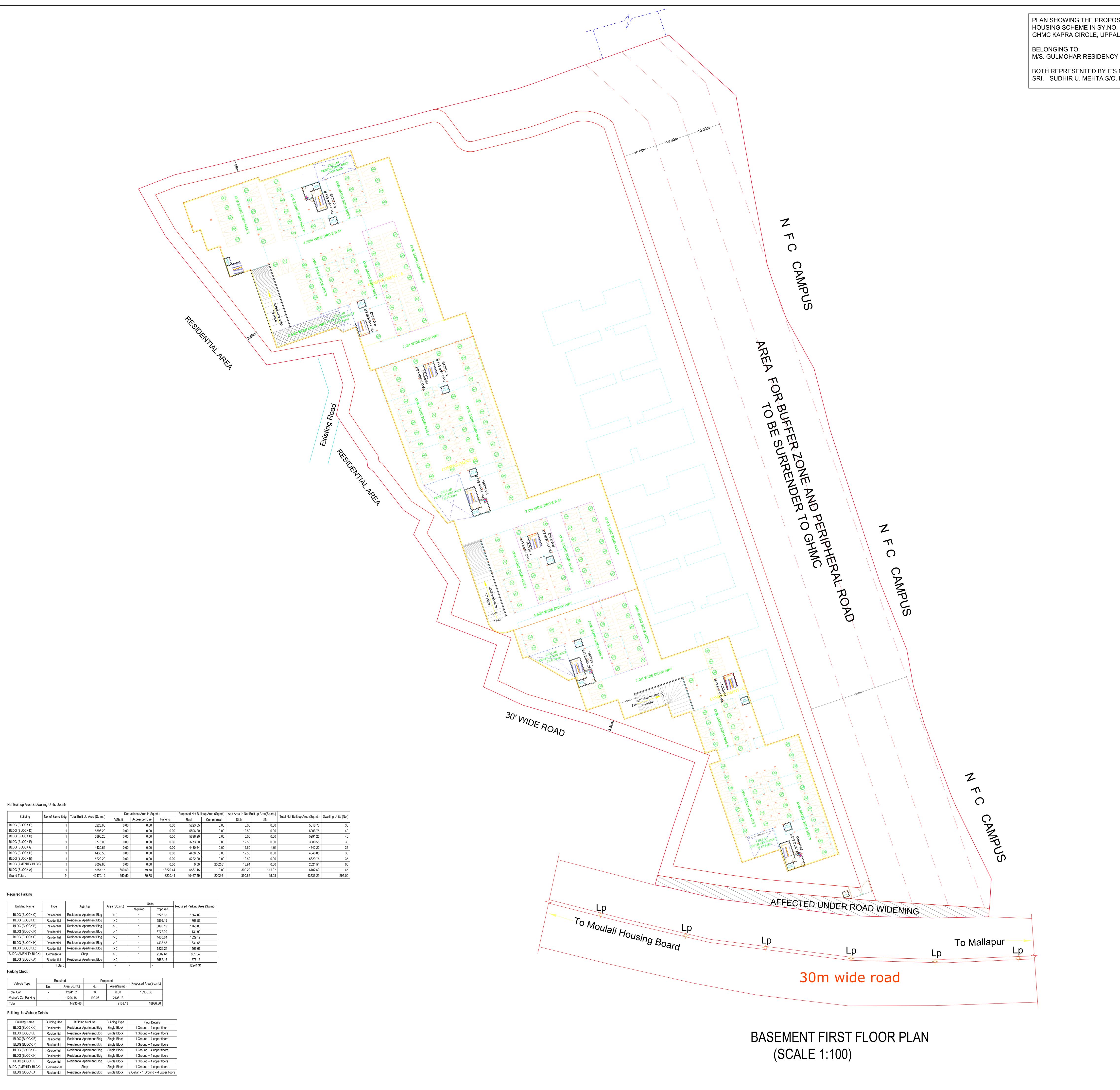
viii) Separate Terr ace Tank of 25,000lits capacity for Residential buildings; ix) Hose Reel, Down Corner. xii) Transformers shall be protected with 4 hours rating fire resist constructions.

xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set backs area The Builder/Developer shall register the project in the RERA website after the launch in July 2018 No Cellar excavation is allowed till the end of Monsoon period i.e 30th September 2019.

> OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE STRUCTURAL ENGINEER'S NAME AND SIGNATURE

> > Note: All dimensions are in meters.

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)



PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT.

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA 1. Automatic Fire sprinklers may be may be provided in the cellar as per norms before releasing of Occupancy Certificate. 2. B.T. Road sho uld be formed before releasing of Occupancy Certificate

construction site for public view.

3. STP to be provided in the Cellar as per the norms before releasing the Occupancy 4. Transformer is not allowed in Tot-lot.

The permission accorded does not confer any ownership rights, At a later stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act 1955. If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees. Sanctioned Plan shall be followed strictly while making the constructi Sanctioned Plan copy as attested by the GHMC shall be displayed at the

Commencement Notice shall be submitted by the applicant before commenc ement of the building U/s 440 of HMC Act. Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act. Occupancy Certificate is compulsory before occupying any building. Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate. Prior Approval should be obtained separately for any modification in

Tree Plantation shall be done along the periphery and also in front Tot-lot shall be fenced and shall be maintained as greenery at owners cost before issue of occupancy certificate. Rain Water Harvesting Structure (percolation pit) shall be constructed

Space for Transformer shall be provided in the site keeping the safety of the residents in view. Garbage House shall be made within the premises Cellar and stilts approved for parking in the plan should be used excl usively for parking of vehicles without partition walls & rolling shut ters and the same should not be converted or misused for any other pur pose at any time in future as per undertaking submitted. No. of units as sanctioned shall not be increased without prior approval of GHMC at any time in future This sanction is accorded on surrendering of Road affected portion of the site to GHMC free of cost with out claiming any compensation at

Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended. The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976. The Developer / Builder / Owner to provide service road wherever requi

Strip of greenery on periphery of the site shall be maintained as per

any time as per the undertaking submitted.

red with specified standards at their own cost. A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained. No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled. All Public and Semi Public buildings above 300Sq.mts. shall be constru cted to provide facilities to physically handicapped persons as per

The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced. The Registration authority shall register only the permitted built-up area as per sanctioned plan.

provisions of NBC of 2005.

The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan The Services like Sanitation, Plumbing, Fire Safety requirements, lifts, electrical installations etc., shall be executed under the supervision of Qualified Technical Personnel. Architect / Structural Engineer if changed, the consent of the previous Architect / Structural Engineer is required and to be intimated to the

Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable). As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable),a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action.b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHMC after providing all the regular service connections to each portion of the building and duly submitting the following.(i) Building Complet ion Certificate issued by the Architect duly certifying that the build ing is completed as per the sanctioned plan.(ii) Structural Stability Certificate issued by the Structural Engineer duly certifying that the building is structurally safe and the construction is in accordance with the specified designs.(iii) An extract of the site registers cont aining inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum period of three years.

 To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height

33. Structural Safety and Fire Safety Requirements shall be the respon

sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in

clearance of 5mts. ii) Provide Fire resistant swing door for the col

lapsible lifts in all floors. iii) Provide Generator, as alternate

source of electric supply.

National Building Code of India, 2005 like;

iv) Emergency Lighting in the Corridor / Common passages and stair case.

v) Two numbers water type fire extinguishers for every 600 Sq.mts. of floor area with minimum of four numbers fire extinguishers per floor and 5k DCP extinguishers minimum 2 Nos. each at Generator and Transformer area shall be provided as per I.S.I. specification No.2190-

vii) Separate Underground static water storage tank capacity of 25, 000 lits. Capacity.

vi) Manually operated and alarm

system in the entire buildings;

viii) Separate Terr ace Tank of 25,000lits capacity for Residential buildings;

Reel, Down Corner.

x) Automatic Sprinkler system is to be provided if the basement area exceed 200 Sq.mts.

xi) Electrical Wiring and installation shall be certified by the electrical engineers to ensure electrical fire safety.

xii) Transformers shall be protected with 4 hours rating fire resist constructions.

after the launch in July 2018

xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set The Builder/Developer shall register the project in the RERA website

No Cellar excavation is allowed till the end of Monsoon period i.e 30th September 2019.

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri. Uttamlal Mehta REP BY: Supervisor_C APPROVAL NO: 1/C1/09930/2019 SHEET NO.: 2 / 13 PROJECT DETAIL Inward_No: 1/C1/19077/2017 Plot Use : Residential Project Type : Building Permission Plot SubUse : ResiComm Bldg Nature of Development : New SubLocation : New Areas / Approved Layout Areas Land Use Zone : Residential Village Name : A.P.H.B. Main Road Land SubUse Zone: NA Abutting Road Width: 30.00 Plot No : NA Survey No. : 19 North side details : Vacant Land -South side details : ROAD WIDTH - 30 East side details : Others - NFC CAMPUS West side details : Vacant Land -AREA DETAILS : AREA OF PLOT (Minimum) Deduction for NetPlot Area Road Affected Area / Road Widening Area (A-Deductions) NET AREA OF PLOT Road Affected Area Amenity Area (A-Deductions) BALANCE AREA OF PLOT AccessoryUse Area Proposed Coverage Area (37.31 Residential Net BUA Commercial Net BUA **BUILT UP AREA** MORTGAGE AREA EXTRA INSTALLMENT MORTGAGE AREA Proposed Number of Parkings

PLAN SHOWING THE PROPOSED

SURVEY NO 19 SITUATED AT , MEDCHAL

BELONGING TO : Mr./Ms./Mrs

M/s. GULMOHAR RESIDENCY

A.P.H.B. Main Road

COLOR INDEX
PLOT BOUNDARY ABUTTING ROAD PROPOSED CONSTRUCTION ROAD WIDENING AREA EXISTING (To be retained) EXISTING (To be demolished)

> OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE

STRUCTURAL ENGINEER'S NAME AND SIGNATURE



PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT.

BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

REP BY: Supervisor_C ABDUL NAYEEM NASIR 1. Automatic Fire sprinklers may be may be provided in the cellar as per norms before releasing of Occupancy Certificate. uld be formed before releasing of Occupancy Certificate Inward_No: 1/C1/19077/2017 Project Type : Building Permission provided in the Cellar as per the norms before releasing the Occupancy Nature of Development : New 4. Transformer is not allowed in Tot-lot. The permission accorded does not confer any ownership rights, At a later SubLocation : New Areas / Approved Layout Areas | Land Use Zone : Residential stage if it is found that the documents are false and fabricated the Village Name : A.P.H.B. Main Road permission will be revoked U/s 450 of HMC Act 1955. If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees. Sanctioned Plan shall be followed strictly while making the constructi Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view. Commencement Notice shall be submitted by the applicant before commenc AREA OF PLOT (Minimum)

ement of the building U/s 440 of HMC Act. Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act. Occupancy Certificate is compulsory before occupying any building. Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate. Prior Approval should be obtained separately for any modification in Tree Plantation shall be done along the periphery and also in front Tot-lot shall be fenced and shall be maintained as greenery at owners cost before issue of occupancy certificate. Rain Water Harvesting Structure (percolation pit) shall be constructed Space for Transformer shall be provided in the site keeping the safety of the residents in view. Garbage House shall be made within the premises Cellar and stilts approved for parking in the plan should be used excl usively for parking of vehicles without partition walls & rolling shut ters and the same should not be converted or misused for any other pur pose at any time in future as per undertaking submitted. No. of units as sanctioned shall not be increased without prior approval of GHMC at any time in future This sanction is accorded on surrendering of Road affected portion of the site to GHMC free of cost with out claiming any compensation at any time as per the undertaking submitted. Strip of greenery on periphery of the site shall be maintained as per Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended. The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976. The Developer / Builder / Owner to provide service road wherever requi red with specified standards at their own cost. A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained. No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled. All Public and Semi Public buildings above 300Sq.mts. shall be constru cted to provide facilities to physically handicapped persons as per provisions of NBC of 2005. The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up area as per sanctioned plan. The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan The Services like Sanitation, Plumbing, Fire Safety requirements, lifts, electrical installations etc., shall be executed under the supervision of Qualified Technical Personnel. Architect / Structural Engineer if changed, the consent of the previous Architect / Structural Engineer is required and to be intimated to the Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable). As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable),a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action.b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the

Abutting Road Width : 30.00 Plot No : NA Survey No. : 19 North side details : Vacant Land -South side details : ROAD WIDTH - 30 East side details : Others - NFC CAMPUS West side details : Vacant Land -Deduction for NetPlot Area Road Affected Area / Road Widening Area (A-Deductions) NET AREA OF PLOT Road Affected Area Amenity Area (A-Deductions) BALANCE AREA OF PLOT AccessoryUse Area Vacant Plot Area Proposed Coverage Area (37.31 % Residential Net BUA Commercial Net BUA BUILT UP AREA MORTGAGE AREA EXTRA INSTALLMENT MORTGAGE AREA Proposed Number of Parkings PLOT BOUNDARY ABUTTING ROAD PROPOSED CONSTRUCTION ROAD WIDENING AREA EXISTING (To be retained)

EXISTING (To be demolished)

PLAN SHOWING THE PROPOSED

BELONGING TO : Mr./Ms./Mrs

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

M/s. GULMOHAR RESIDENCY

APPROVAL NO: 1/C1/09930/2019 SHEET NO.: 3 / 13

Plot Use : Residential

Plot SubUse : ResiComm Bldg

Land SubUse Zone : NA

PlotNearbyNotifiedReligiousStructure : NA

SURVEY NO 19 SITUATED AT , MEDCHAL

PLOT NO. NA

A.P.H.B. Main Road

Uttamlal Mehta

 To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts. ii) Provide Fire resistant swing door for the col lapsible lifts in all floors. iii) Provide Generator, as alternate source of electric supply. iv) Emergency Lighting in the Corridor / Common passages and stair case.

conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHMC after providing all the regular service connections to each portion

of the building and duly submitting the following.(i) Building Complet ion Certificate issued by the Architect duly certifying that the build ing is completed as per the sanctioned plan.(ii) Structural Stability Certificate issued by the Structural Engineer duly certifying that the building is structurally safe and the construction is in accordance with the specified designs.(iii) An extract of the site registers cont aining inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

v) Two numbers water type fire extinguishers for every 600 Sq.mts. of floor area with minimum of four numbers fire extinguishers per floor and 5k DCP extinguishers minimum 2 Nos. each at Generator and Transformer area shall be provided as per I.S.I. specification No.2190-

system in the entire buildings; vii) Separate Underground static water storage tank capacity of 25, 000 lits. Capacity. No Cellar excavation is allowed till the end of Monsoon period i.e with September 2019. ace Tank of 25,000lits capacity for Residential buildings;

vi) Manually operated and alarm

ix) Hose Reel, Down Corner. x) Automatic Sprinkler system is to be provided if the basement area exceed 200 Sq.mts. installation shall be certified by the electrical engineers to ensure

xii) Transformers shall be protected with 4 hours rating fire resist constructions.

xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set The Builder/Developer shall register the project in the RERA website after the launch in July 2018

Building Name	Type	SubUse	Area (Sq.mt.)	Ur	nits	Required Parking Area (Sq.mt.)
Building Name Type		Subuse	Area (Sq.IIII.)	Required	Proposed	Required Parking Area (Sq.IIII.)
BLDG (BLOCK C)	Residential	Residential Apartment Bldg	> 0	1	5223.65	1567.09
BLDG (BLOCK D)	Residential	Residential Apartment Bldg	> 0	1	5896.19	1768.86
BLDG (BLOCK B)	Residential	Residential Apartment Bldg	> 0	1	5896.19	1768.86
BLDG (BLOCK F)	Residential	Residential Apartment Bldg	> 0	1	3772.99	1131.90
BLDG (BLOCK G)	Residential	Residential Apartment Bldg	> 0	1	4430.64	1329.19
BLDG (BLOCK H)	Residential	Residential Apartment Bldg	> 0	1	4438.53	1331.56
BLDG (BLOCK E)	Residential	Residential Apartment Bldg	> 0	1	5222.21	1566.66
BLDG (AMENITY BLCK)	Commercial	Shop	> 0	1	2002.61	801.04
BLDG (BLOCK A)	Residential	Residential Apartment Bldg	> 0	1	5587.15	1676.15
	Total :		-	-	-	12941.31

Vehicle Type	Requ	uired	Prop	osed	Proposed Area(Sq.mt.)	
verlicie Type	No.	Area(Sq.mt.)	No.	Area(Sq.mt.)	Proposed Area(Sq.IIII.)	
otal Car	-	12941.31	0	0.00	18936.30	
sitor's Car Parking	-	1294.15	190.06	2138.13	-	

Building Use/Subuse Details

Building Name	Building Use	Building SubUse	Building Type	Floor Details
BLDG (BLOCK C)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK D)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK B)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK F)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK G)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK H)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK E)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (AMENITY BLCK)	Commercial	Shop	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK A)	Residential	Residential Apartment Bldg	Single Block	2 Cellar + 1 Ground + 4 upper floors

Net Built up Area & Dwelling Units Details

Building	No. of Same Bldg	Total Duilt Lin Area (Ca mt)	Ded	uctions (Area in Sq	.mt.)	Proposed Net Buil	t up Area (Sq.mt.)	Add Area In Net Built up Area(Sq.mt.)		Total Net Built up Area (Sq.mt.)) Dwelling Units (No.)
Building 140. Of Same Blug	No. of Same Blug	Total Built Up Area (Sq.mt.)	VShaft	Accessory Use	Parking	Resi.	Commercial	Stair	Lift	Total Net built up Area (Sq.IIIt.)	Dwelling Offits (No.)
DG (BLOCK C)	1	5223.65	0.00	0.00	0.00	5223.65	0.00	0.00	0.00	5318.70	35
DG (BLOCK D)	1	5896.20	0.00	0.00	0.00	5896.20	0.00	12.50	0.00	6003.75	40
DG (BLOCK B)	1	5896.20	0.00	0.00	0.00	5896.20	0.00	0.00	0.00	5991.25	40
DG (BLOCK F)	1	3773.00	0.00	0.00	0.00	3773.00	0.00	12.50	0.00	3880.55	30
DG (BLOCK G)	1	4430.64	0.00	0.00	0.00	4430.64	0.00	12.50	4.01	4542.20	35
DG (BLOCK H)	1	4438.55	0.00	0.00	0.00	4438.55	0.00	12.50	0.00	4546.05	35
DG (BLOCK E)	1	5222.20	0.00	0.00	0.00	5222.20	0.00	12.50	0.00	5329.75	35
DG (AMENITY BLCK)	1	2002.60	0.00	0.00	0.00	0.00	2002.61	18.94	0.00	2021.54	00
DG (BLOCK A)	1	5587.15	650.50	79.78	18220.44	5587.15	0.00	309.22	111.07	6102.50	45
and Total :	9	42470.19	650.50	79.78	18220.44	40467.59	2002.61	390.66	115.08	43736.29	295.00

OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE STRUCTURAL ENGINEER'S NAME AND SIGNATURE





(Proposed) (SCALE 1:100)

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)

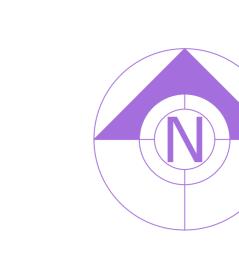
FIRST FLOOR PLAN (Proposed) (SCALE 1:100)

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT

BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA



1. Automatic Fire sprinklers may be may be provided in the cellar as per norms before releasing of Occupancy Certificate. PROJECT DETAIL uld be formed before releasing of Occupancy Certificate Inward_No: 1/C1/19077/2017 Project Type : Building Permission provided in the Cellar as per the norms before releasing the Occupancy Nature of Development : New 4. Transformer is not allowed in Tot-lot. The permission accorded does not confer any ownership rights, At a later SubLocation : New Areas / Approved Layout Areas stage if it is found that the documents are false and fabricated the Village Name : A.P.H.B. Main Road permission will be revoked U/s 450 of HMC Act 1955. If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees. Sanctioned Plan shall be followed strictly while making the constructi Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view. Commencement Notice shall be submitted by the applicant before commenc ement of the building U/s 440 of HMC Act. Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act. Occupancy Certificate is compulsory before occupying any building. Public Amenities such as Water Supply, Electricity Connections will AREA DETAILS : be provided only on production of occupancy certificate. Prior Approval should be obtained separately for any modification in AREA OF PLOT (Minimum) Tree Plantation shall be done along the periphery and also in front Deduction for NetPlot Area Tot-lot shall be fenced and shall be maintained as greenery at owners cost before issue of occupancy certificate. Rain Water Harvesting Structure (percolation pit) shall be constructed NET AREA OF PLOT Space for Transformer shall be provided in the site keeping the safety Garbage House shall be made within the premises Cellar and stilts approved for parking in the plan should be used excl usively for parking of vehicles without partition walls & rolling shut ters and the same should not be converted or misused for any other pur pose at any time in future as per undertaking submitted. No. of units as sanctioned shall not be increased without prior approval BALANCE AREA OF PLO of GHMC at any time in future This sanction is accorded on surrendering of Road affected portion of the site to GHMC free of cost with out claiming any compensation at any time as per the undertaking submitted. Strip of greenery on periphery of the site shall be maintained as per Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended. The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976. The Developer / Builder / Owner to provide service road wherever requi red with specified standards at their own cost. BUILT UP AREA A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained. No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be MORTGAGE AREA If greenery is not maintained 10% additional property tax shall be imp EXTRA INSTALLMENT MORTGAGE AREA osed as penalty every year till the condition is fulfilled. All Public and Semi Public buildings above 300Sq.mts. shall be constru Proposed Number of Parkings cted to provide facilities to physically handicapped persons as per provisions of NBC of 2005. an Occupancy Certificate is produced. The Registration authority shall register only the permitted built-up area as per sanctioned plan. The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan The Services like Sanitation, Plumbing, Fire Safety requirements, lifts, electrical installations etc., shall be executed under the supervision of Qualified Technical Personnel. Architect / Structural Engineer if changed, the consent of the previous PLOT BOUNDARY Architect / Structural Engineer is required and to be intimated to the ABUTTING ROAD PROPOSED CONSTRUCTION

PLAN SHOWING THE PROPOSED

PLOT NO. NA
SURVEY NO 19
SITUATED AT , MEDCHAL
A.P.H.B. Main Road

BELONGING TO : Mr./Ms./Mrs

REP BY : Supervisor_C

Uttamlal Mehta

Road Affected Area / Road Widening Area

Road Affected Area

AccessoryUse Area

Residential Net BUA

Commercial Net BUA

COMMON PLOT

ROAD WIDENING AREA

EXISTING (To be retained)

EXISTING (To be demolished)

Proposed Coverage Area (37.31

Vacant Plot Area

Amenity Area

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

M/s. GULMOHAR RESIDENCY

APPROVAL NO: 1/C1/09930/2019 SHEET NO.: 4 / 13

Plot Use : Residential

Plot SubUse : ResiComm Bldg

Land Use Zone : Residential

Abutting Road Width: 30.00

North side details : Vacant Land -

West side details : Vacant Land -

South side details : ROAD WIDTH - 30

East side details : Others - NFC CAMPUS

14.66 14255.50

Land SubUse Zone : NA

Plot No : NA Survey No. : 19

(A-Deductions)

(A-Deductions)

Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable). As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable),a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action.b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHMC after providing all the regular service connections to each portion of the building and duly submitting the following.(i) Building Complet ion Certificate issued by the Architect duly certifying that the build ing is completed as per the sanctioned plan.(ii) Structural Stability Certificate issued by the Structural Engineer duly certifying that the building is structurally safe and the construction is in accordance with the specified designs.(iii) An extract of the site registers cont aining inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum 33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

iii) Provide Generator, as alternate source of electric supply. iv) Emergency Lighting in the Corridor / Common passages and stair case. v) Two numbers water type fire extinguishers for every 600 Sq.mts. of floor area with minimum of four

i) To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height

clearance of 5mts.

lapsible lifts in all floors.

ii) Provide Fire resistant swing door for the col

numbers fire extinguishers per floor and 5k DCP extinguishers minimum 2 Nos. each at Generator and Transformer area shall be provided as per I.S.I. specification No.2190-

system in the entire buildings; vii) Separate Underground static water storage tank capacity of 25, 000 lits. Capacity. No Cellar excavation is allowed till the end of Monsoon period i.e with September 2019. ace Tank of 25,000lits capacity for Residential buildings; ix) Hose Reel, Down Corner.

vi) Manually operated and alarm

x) Automatic Sprinkler system is to be provided if the basement area exceed 200 Sq.mts. installation shall be certified by the electrical engineers to ensure 4 hours rating fire resist constructions.

open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set The Builder/Developer shall register the project in the RERA website after the launch in July 2018

Building :BLDG (BLOCK A)

Floor Nama	Total Built Up Area (Sq.mt.)	Deductions (Area in Sq.mt.)		Proposed Net Built up Area (Sq.mt.)	Add Area In Net Buil	t up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.)	Dwelling Units (No.)	
Floor Name	Total Built Op Alea (Sq.IIIt.)	VShaft	Accessory Use	Parking	Resi.	Stair	Lift	Total Net Built up Alea (34.111t.)	Dwelling Offits (No.,
sement First Floor	0.00	325.25	0.00	8091.98	0.00	138.95	49.73	188.68	00
sement Second Floor	0.00	325.25	79.78	10128.46	0.00	170.27	61.34	231.62	00
ound Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
st Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
cond Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
ird Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
urth Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
rrace Floor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	95.05	00
tal :	5587.15	650.50	79.78	18220.44	5587.15	309.22	111.07	6102.50	45
tal Number of Same Buildings :	1								
tal :	5587.15	650.50	79.78	18220.44	5587.15	309.22	111.07	6102.50	45

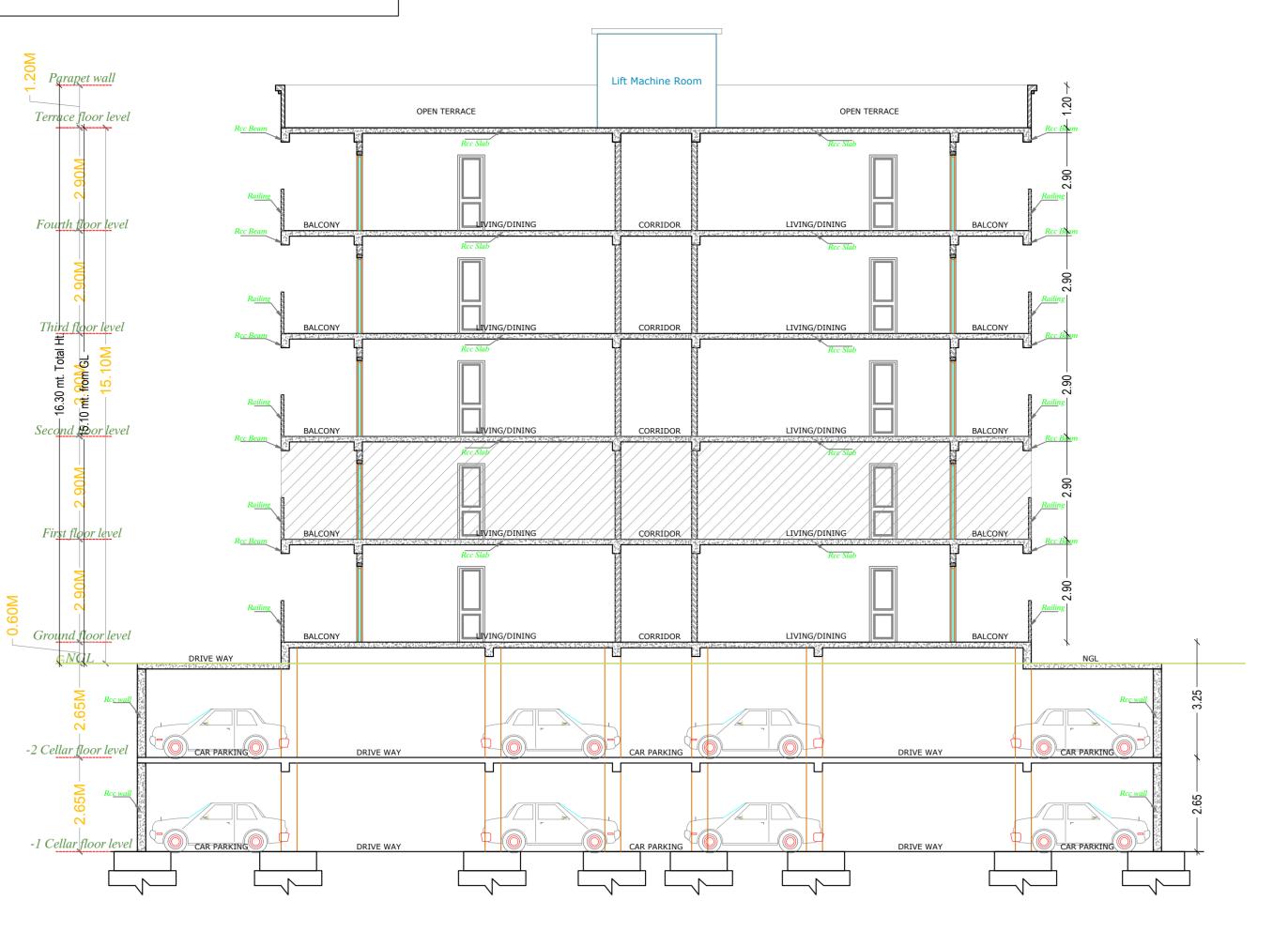
otal :		5:	007.15	050.50
SCHEDULE OF JO	INERY:			
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK A)	D1	0.63	2.10	25
BLDG (BLOCK A)	D2	0.76	2.10	123
BLDG (BLOCK A)	D1	0.91	2.10	139
BLDG (BLOCK A)	OP	0.91	2.10	25
BLDG (BLOCK A)	MD	1.07	2.10	45
SCHEDULE OF JO				
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK A)	V	0.76	1.00	82
BLDG (BLOCK A)	W2	1.21	2.10	16
BLDG (BLOCK A)	KW	1.22	1.20	41
BLDG (BLOCK A)	W2	1.23	2.10	16
BLDG (BLOCK A)	W2	1.32	2.10	25
			ı	
BLDG (BLOCK A)	W2	1.37	1.20	41
BLDG (BLOCK A) BLDG (BLOCK A)	W2 W2		1.20 2.10	41 25
` '		1.37		
BLDG (BLOCK A)	W2	1.37 1.41	2.10	25

OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE

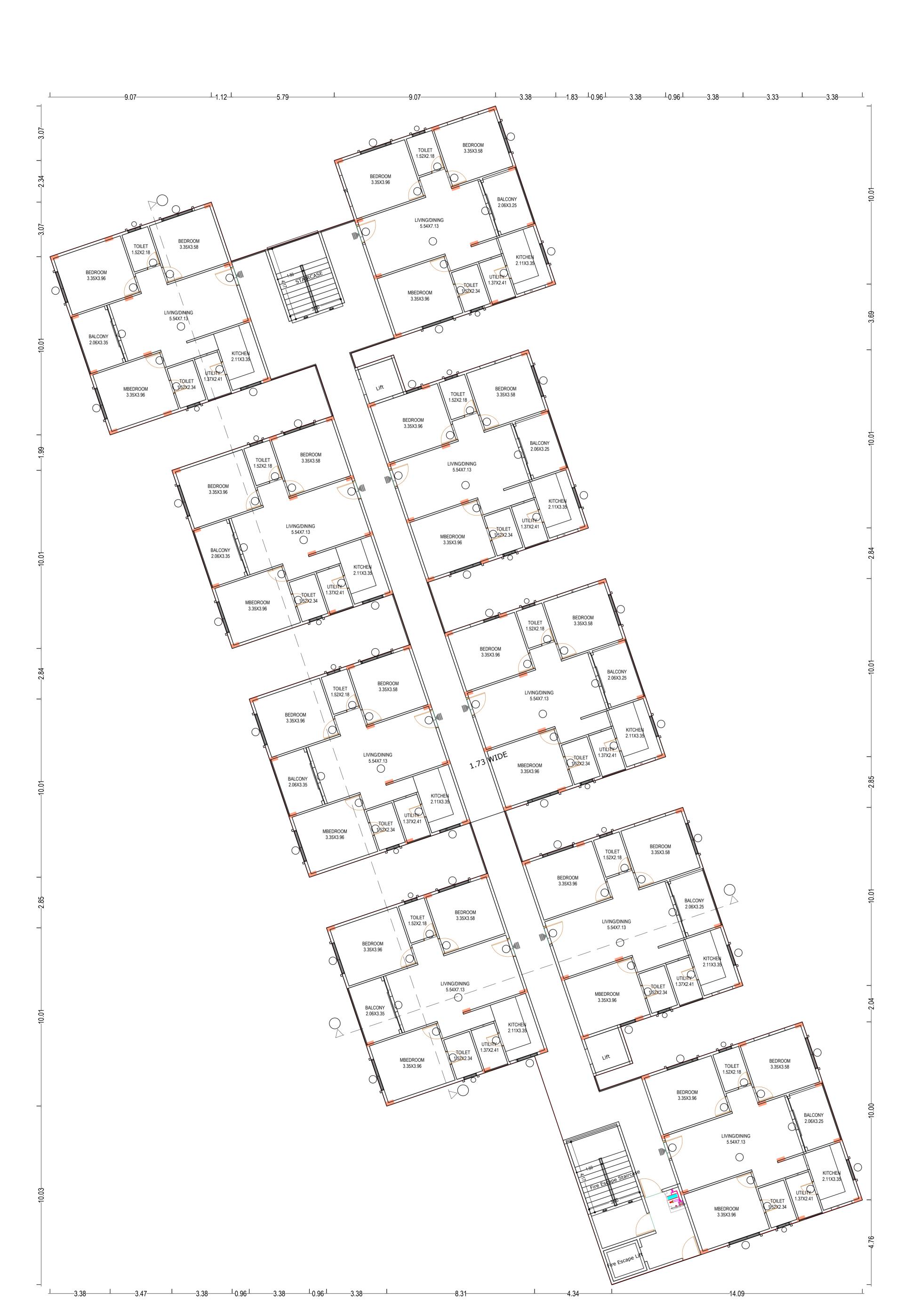
Note: All dimensions are in meters.

STRUCTURAL ENGINEER'S NAME AND SIGNATURE

Building: BLDG (BLOCK A)



SECTION A-A



TYPICAL - 2, 3& 4 FLOOR PLAN
(Proposed)
(SCALE 1:100)

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT.

BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

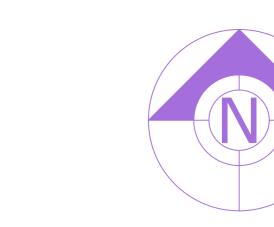
Building :BLDG (BLOCK A)

TERRACE FLOOR PLAN

(SCALE 1:100)

Floor Name	Total Built Up Area (Sq.mt.)	Dedu	uctions (Area in Sq	.mt.)	Proposed Net Built up Area (Sq.mt.)	Add Area In Net Bu	ilt up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.)	Dwelling Units (No.)
Floor Name	Total Built Op Alea (Sq.IIIt.)	VShaft	Accessory Use	Parking	Resi.	Stair	Lift	Total Net Built up Alea (34.111.)	Dwelling Offics (No.)
Basement First Floor	0.00	325.25	0.00	8091.98	0.00	138.95	49.73	188.68	00
Basement Second Floor	0.00	325.25	79.78	10128.46	0.00	170.27	61.34	231.62	00
Ground Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
First Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
Second Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
Third Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
ourth Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	1117.43	09
Terrace Floor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	95.05	00
Total :	5587.15	650.50	79.78	18220.44	5587.15	309.22	111.07	6102.50	45
Total Number of Same Buildings :	1								
Total :	5587.15	650.50	79.78	18220.44	5587.15	309.22	111.07	6102.50	45

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK A)	D1	0.63	2.10	25
BLDG (BLOCK A)	D2	0.76	2.10	123
BLDG (BLOCK A)	D1	0.91	2.10	139
BLDG (BLOCK A)	OP	0.91	2.10	25
BLDG (BLOCK A)	MD	1.07	2.10	45
BILLI DING NAME	NAME	LENGTH	HEIGHT	NOS
	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK A)	V	0.76	1.00	82
BLDG (BLOCK A) BLDG (BLOCK A)				82 16
BLDG (BLOCK A)	V	0.76	1.00	82
BLDG (BLOCK A) BLDG (BLOCK A) BLDG (BLOCK A)	V W2	0.76 1.21	1.00 2.10	82 16
BUILDING NAME BLDG (BLOCK A)	V W2 KW	0.76 1.21 1.22	1.00 2.10 1.20	82 16 41
BLDG (BLOCK A) BLDG (BLOCK A) BLDG (BLOCK A) BLDG (BLOCK A)	V W2 KW W2	0.76 1.21 1.22 1.23	1.00 2.10 1.20 2.10	82 16 41 16
BLDG (BLOCK A)	V W2 KW W2 W2	0.76 1.21 1.22 1.23 1.32	1.00 2.10 1.20 2.10 2.10	82 16 41 16 25
BLDG (BLOCK A)	V W2 KW W2 W2 W2 W2	0.76 1.21 1.22 1.23 1.32 1.37	1.00 2.10 1.20 2.10 2.10 1.20	82 16 41 16 25 41
BLDG (BLOCK A)	V W2 KW W2 W2 W2 W2 W2 W2	0.76 1.21 1.22 1.23 1.32 1.37 1.41	1.00 2.10 1.20 2.10 2.10 1.20 2.10	82 16 41 16 25 41 25



1. Automatic Fire sprinklers may be may be provided in the cellar as per norms before releasing of Occupancy Certificate. uld be formed before releasing of Occupancy Certificate provided in the Cellar as per the norms before releasing the Occupancy 4. Transformer is not allowed in Tot-lot. The permission accorded does not confer any ownership rights, At a later stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act 1955. If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees. Sanctioned Plan shall be followed strictly while making the constructi Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view. Commencement Notice shall be submitted by the applicant before commenc ement of the building U/s 440 of HMC Act. Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act. Occupancy Certificate is compulsory before occupying any building. Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate. Prior Approval should be obtained separately for any modification in Tree Plantation shall be done along the periphery and also in front Tot-lot shall be fenced and shall be maintained as greenery at owners cost before issue of occupancy certificate. Rain Water Harvesting Structure (percolation pit) shall be constructed Space for Transformer shall be provided in the site keeping the safety of the residents in view.

Garbage House shall be made within the premises Cellar and stilts approved for parking in the plan should be used excl usively for parking of vehicles without partition walls & rolling shut ters and the same should not be converted or misused for any other pur pose at any time in future as per undertaking submitted. No. of units as sanctioned shall not be increased without prior approval of GHMC at any time in future This sanction is accorded on surrendering of Road affected portion of the site to GHMC free of cost with out claiming any compensation at any time as per the undertaking submitted. Strip of greenery on periphery of the site shall be maintained as per Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended. The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976. The Developer / Builder / Owner to provide service road wherever requi red with specified standards at their own cost. A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained. No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled. All Public and Semi Public buildings above 300Sq.mts. shall be constru cted to provide facilities to physically handicapped persons as per provisions of NBC of 2005. The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up area as per sanctioned plan. The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan The Services like Sanitation, Plumbing, Fire Safety requirements, lifts, electrical installations etc., shall be executed under the supervision of Qualified Technical Personnel. Architect / Structural Engineer if changed, the consent of the previous Architect / Structural Engineer is required and to be intimated to the Construction shall be covered under the contractors all risk Insurance

COLOR INDEX PLOT BOUNDARY ABUTTING ROAD till the issue of occupancy certificate (wherever applicable). As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable),a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action.b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHMC after providing all the regular service connections to each portion of the building and duly submitting the following.(i) Building Complet ion Certificate issued by the Architect duly certifying that the build ing is completed as per the sanctioned plan.(ii) Structural Stability Certificate issued by the Structural Engineer duly certifying that the building is structurally safe and the construction is in accordance

i) To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.
ii) Provide Fire resistant swing door for the col lapsible lifts in all floors.
iii) Provide Generator, as alternate source of electric supply.
iv) Emergency Lighting in the Corridor / Common passages and stair case.

with the specified designs.(iii) An extract of the site registers cont

aining inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

v) Two numbers water type fire extinguishers for every 600 Sq.mts. of floor area with minimum of four numbers fire extinguishers per floor and 5k DCP extinguishers minimum 2 Nos. each at Generator and Transformer area shall be provided as per I.S.I. specification No.2190-

vi) Manually operated and alarm system in the entire buildings;

vii) Separate Underground static water storage tank capacity of 25, 000 lits. Capacity.

No Cellar excavation is allowed till the end of Monsoon period i.e with separation of 25,000 lits capacity for Residential buildings;

ix) Hose Reel, Down Corner.

x) Automatic Sprinkler system is to be provided if the basement area exceed 200 Sq.mts.

xi) Electrical Wiring and installation shall be certified by the electrical engineers to ensure electrical fire safety.

xii) Transformers shall be protected with 4 hours rating fire resist constructions.

xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set backs area.

The Builder/Developer shall register the project in the RERA website after the launch in July 2018

SHEET NO.: 5 / 13 PROJECT DETAIL Inward_No: 1/C1/19077/2017 Plot Use : Residential Project Type : Building Permission Plot SubUse : ResiComm Bldg Nature of Development : New PlotNearbyNotifiedReligiousStructure: N SubLocation: New Areas / Approved Layout Areas Land Use Zone : Residential Village Name : A.P.H.B. Main Road Land SubUse Zone : NA Abutting Road Width : 30.00 Plot No : NA Survey No. : 19 North side details : Vacant Land -South side details : ROAD WIDTH - 30 East side details : Others - NFC CAMPUS West side details : Vacant Land -AREA DETAILS: AREA OF PLOT (Minimum) Deduction for NetPlot Area Road Affected Area / Road Widening Area (A-Deductions) NET AREA OF PLOT Road Affected Area Amenity Area (A-Deductions) **BALANCE AREA OF PLOT** AccessoryUse Area Proposed Coverage Area (37.31 %

PLAN SHOWING THE PROPOSED

SURVEY NO 19 SITUATED AT , MEDCHAL

BELONGING TO : Mr./Ms./Mrs

REP BY : Supervisor_C

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

M/s. GULMOHAR RESIDENCY

APPROVAL NO: 1/C1/09930/2019

PLOT NO. NA

A.P.H.B. Main Road

Uttamlal Mehta

Approval No. : 1/C1/19077/2017

Proposed Number of Parkings

BUILT UP AREA

MORTGAGE AREA

Residential Net BUA

Commercial Net BUA

EXTRA INSTALLMENT MORTGAGE AREA

PLOT BOUNDARY
ABUTTING ROAD
PROPOSED CONSTRUCTION
COMMON PLOT
ROAD WIDENING AREA
EXISTING (To be retained)
EXISTING (To be demolished)

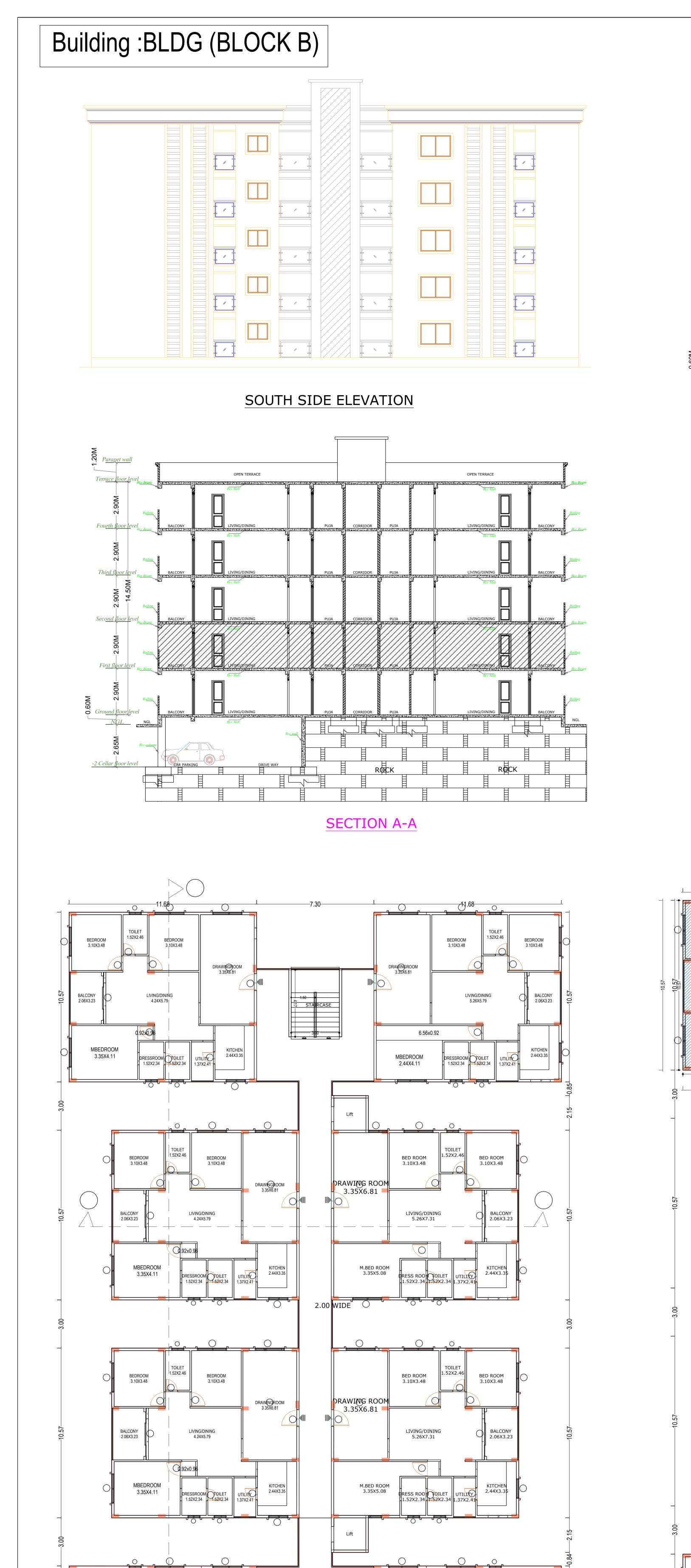
OWNER'S NAME AND SIGNATURE

BUILDER'S NAME AND SIGNATURE

ARCHITECT'S NAME AND SIGNATURE

Note: All dimensions are in meters.

STRUCTURAL ENGINEER'S NAME AND SIGNATURE



BEDROOM 3.10X3.48

BEDROOM 3:10X3:48

424X5Built Up Area th Mortgage

BEDROOM 3.10X3.48

Living/Dining 4.24x539uilt Up Area to Mortgage

Living/Dining 4:24X5BNilt Up Area to Mortgage

DRAWINGROOM 3:35X6:81

DRAWINGROOM 3.35X6.81

3 10

LIVING/DINING

BEDROOM 3.10X3.48

BEDROOM 3.10X3.48

MBEDROOM 3.35X4.11

FIRST FLOOR PLAN

(Proposed)

(SCALE 1:100)

BEDROOM 3.10X3.48

BEDROOM 3.10X3.48

LIVING/DINING 5.26X5.79

DRAWINGROOM 3.35X6.81

MBEDROOM 2.44X4.11

BEDROOM 3.10X3.48



BEDROOM 3.10X3.48

BED ROOM 3.10X3,48

BED ROOM 3.10X3,48

BEDROOM 3.10X3.48

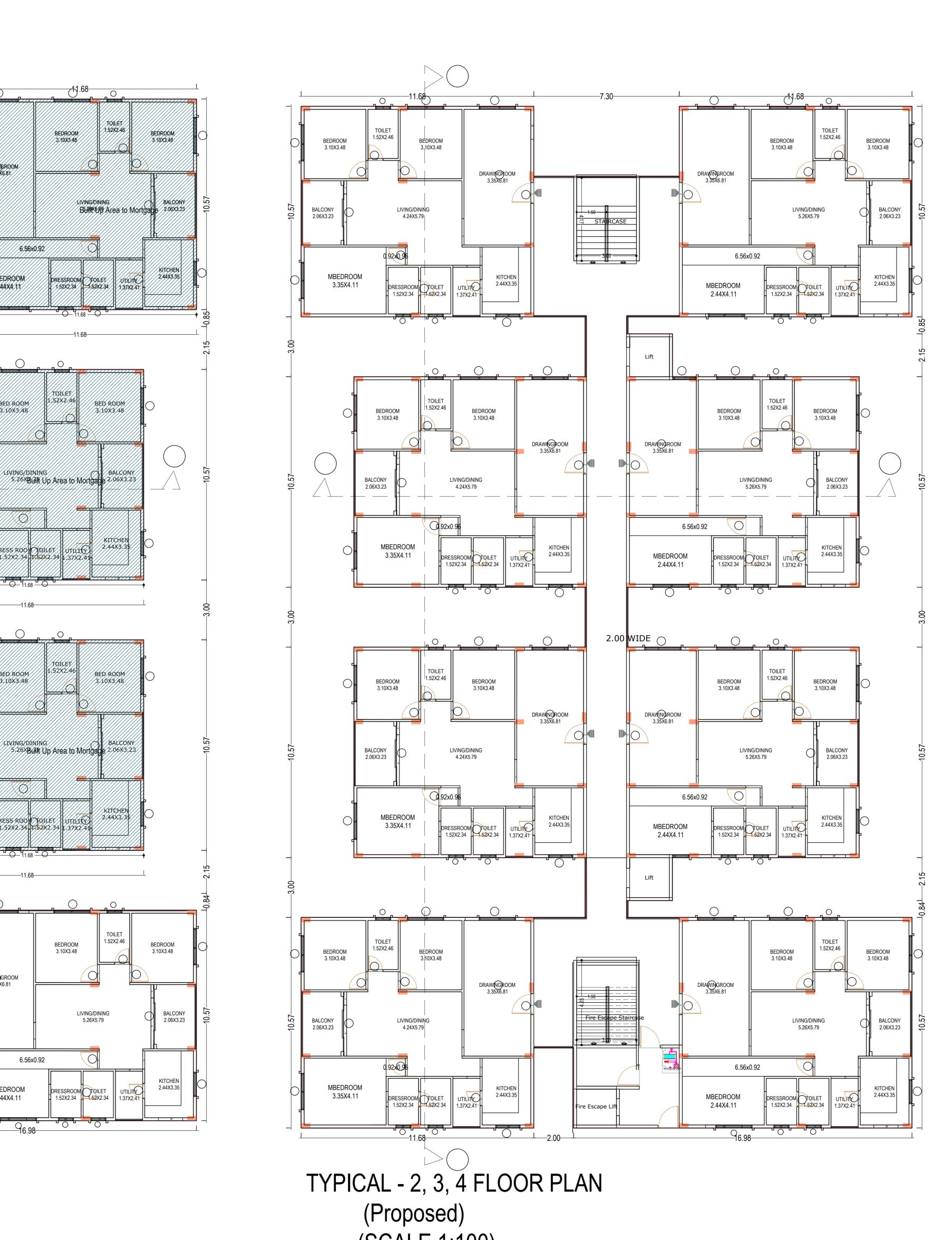
LIVING/DINING 5.26X5.79

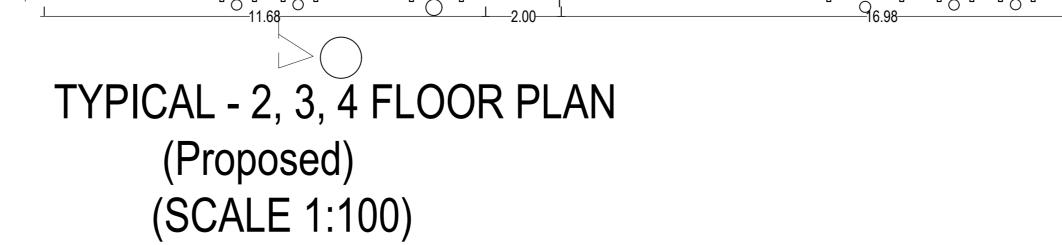
MBEDROOM 2,44X4.11

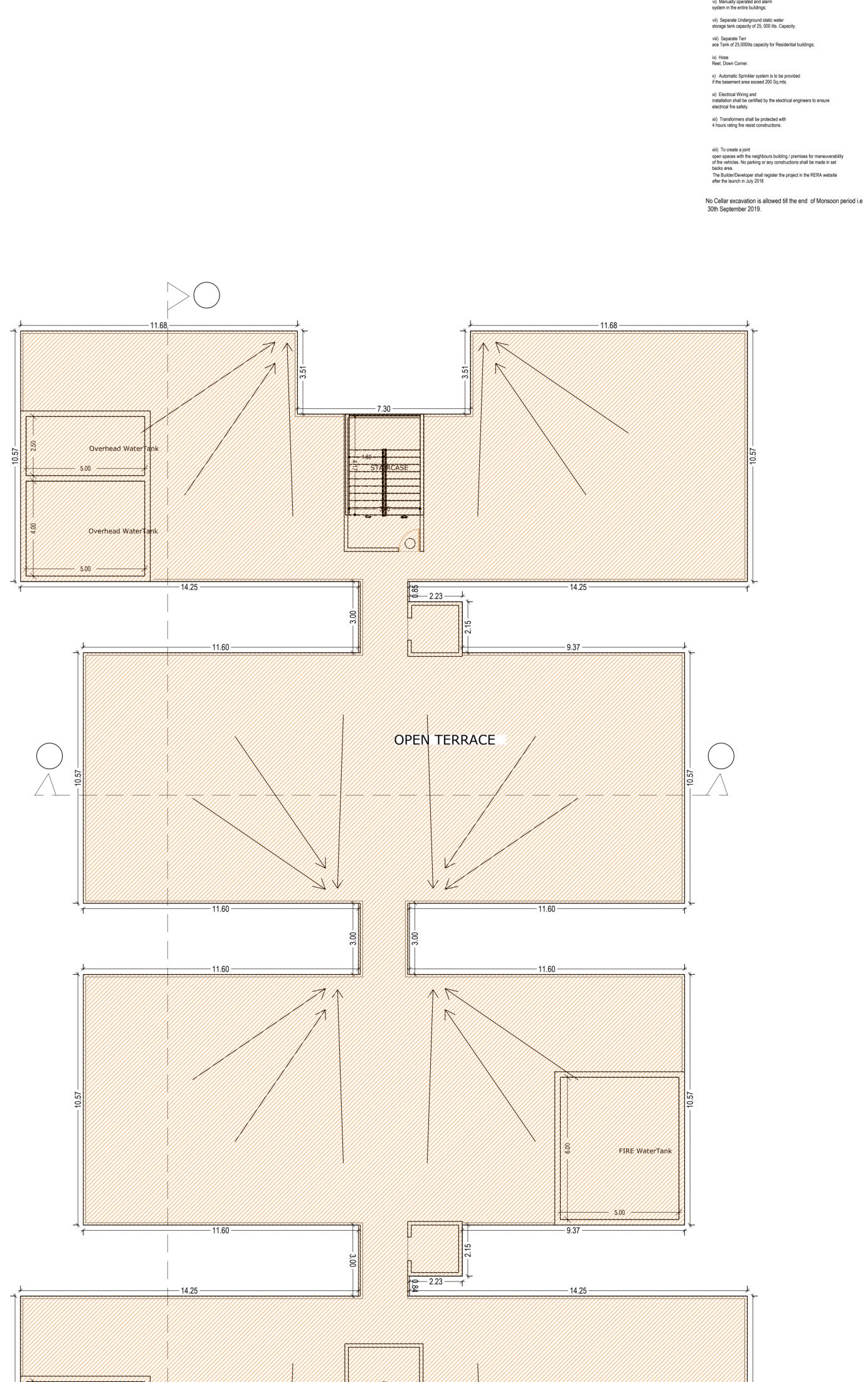
BED ROOM 3,10%3,48

BED ROOM 3,10X3.48

MBEDROOM 2.44X4.11







PLAN SHOWING THE PROPOSED MULTI STORIED GROUP

HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE,

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER

Proposed Net Built up Area (Sq.mt.)

SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

BELONGING TO:

otal Built Up Area (Sq.mt.) 📙

 BLDG (BLOCK B)
 D
 0.91
 2.10
 144

 BLDG (BLOCK B)
 MD
 1.07
 2.10
 40

 BLDG (BLOCK B)
 D
 1.32
 2.10
 36

 BLDG (BLOCK B)
 V
 0.76
 1.20
 72

 BLDG (BLOCK B)
 W
 0.76
 1.20
 36

 BLDG (BLOCK B)
 W
 1.10
 2.50
 03

 BLDG (BLOCK B)
 W
 1.22
 1.20
 36

 BLDG (BLOCK B)
 W
 1.37
 1.20
 36

 BLDG (BLOCK B)
 W
 1.43
 1.20
 05

 BLDG (BLOCK B)
 W
 1.83
 1.20
 113

 BLDG (BLOCK B)
 W
 1.91
 2.50
 03

 BLDG (BLOCK B)
 W
 2.00
 10

 BLDG (BLOCK B)
 W
 2.36
 1.20
 10

 BLDG (BLOCK B)
 W
 2.56
 1.20
 36

 BLDG (BLOCK B)
 W
 2.56
 1.20
 36

 BLDG (BLOCK B)
 W
 3.09
 1.20
 05

TERRACE FLOOR PLAN

(SCALE 1:100)

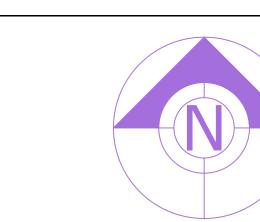
Building :BLDG (BLOCK B)

Terrace Floor

Total Number of Same Buildings

SCHEDULE OF JOINERY:

GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT



Automatic Fire sprinklers may be may be provided in the cellar aper norms before releasing of Occupancy Certificate.

vided in the Cellar as per the norms before releasing the Occupancy

Certificate.
4. Transformer is not allowed in Tot-lot.
The permission accorded does not confer any ownership rights, At a lat stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act 1955.
If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees.
Sanctioned Plan shall be followed strictly while making the construction

on.

Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view.

Commencement Notice shall be submitted by the applicant before commencement of the building U/s 440 of HMC Act.

Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act.

Occupancy Certificate is compulsory before occupying any building.

Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate.

Prior Approval should be obtained separately for any modification in the construction.

e Plantation shall be done along the periphery and also in fro

Tot-lot shall be fenced and shall be maintained as greenery at owners cost before issue of occupancy certificate.

Rain Water Harvesting Structure (percolation pit) shall be constructed

Space for Transformer shall be provided in the site keeping the safety of the residents in view.

Garbage House shall be made within the premises
Cellar and stilts approved for parking in the plan should be used exclusively for parking of vehicles without partition walls & rolling shut ters and the same should not be converted or misused for any other pur pose at any time in future as per undertaking submitted.

No. of units as sanctioned shall not be increased without prior approval of GHMC at any time in future
This sanction is accorded on surrendering of Road affected portion of the site to GHMC free of cost with out claiming any compensation at any time as per the undertaking submitted.

Strip of greenery on periphery of the site shall be maintained as per rules.

itles.

tocking of Building Materials on footpath and road margin causing obsuction to free movement of public & vehicles shall not be done, fail g which permission is liable to be suspended.

he permission accorded does not bar the application or provisions of rban Land Ceiling & Regulations Act 1976.

he Developer / Builder / Owner to provide service road wherever requid with specified standards at their own cost.

safe distance of minimum 3.0mts. Vertical and Horizontal Distance atween the Building & High Tension Electrical Lines and 1.5mts. for ow Tension electrical line shall be maintained.

of front compound wall for the site abutting 18 mt. road width shall a allowed and only Iron grill or Low height greenery hedge shall be lowed.

allowed.

If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled.

All Public and Semi Public buildings above 300Sq.mts. shall be constructed to provide facilities to physically handicapped persons as per provisions of NBC of 2005.

The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up area as per sanctioned plan.

The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan.

The Services like Sanitation, Plumbing, Fire Safety requirements, lifts, electrical installations etc., shall be executed under the supervision of Qualified Technical Personnel.

Architect / Structural Engineer if changed, the consent of the previous Architect / Structural Engineer is required and to be intimated to the GHMC.

Construction shall be covered under the contractors all risk Insurance.

GHMC.
Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable).
As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable), a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action. b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The

Owner, Bulloter, Accinitect, Structural Engineer and Site Engineer a jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all th conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Lease upless and until Occupancy Cartificate is obtained from G.

with the specified designs.(iii) An extract of the site registers cont aining inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum part of

period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.

ii) Provide Fire resistant swing door for the col lapsible lifts in all floors.

iii) Provide Generator, as alternate source of electric supply.

iv) Emergency Lighting in the Corridor / Common passages and stair case.

B.T. Road sho
be formed before releasing of Occupancy Certificate

AREA STATEMENT
PROJECT DETAIL: Inward_No: 1/C1/19077/2017 Plot Use : Residential Project Type : Building Permission Plot SubUse : ResiComm Bldg Nature of Development : New SubLocation: New Areas / Approved Layout Areas Village Name : A.P.H.B. Main Road Land SubUse Zone: NA Abutting Road Width: 30.00 Plot No : NA Survey No. : 19 North side details : Vacant Land -South side details : ROAD WIDTH - 30 East side details : Others - NFC CAMPUS West side details : Vacant Land -AREA DETAILS AREA OF PLOT (Minimum) Deduction for NetPlot Area Road Affected Area / Road Widening Area (A-Deductions) NET AREA OF PLOT Road Affected Area Amenity Area (A-Deductions) BALANCE AREA OF PLOT AccessoryUse Area Proposed Coverage Area (37.31 S Residential Net BUA Commercial Net BUA **BUILT UP AREA** MORTGAGE AREA EXTRA INSTALLMENT MORTGAGE AREA

Proposed Number of Parkings

EXISTING (To be demolished)

PLAN SHOWING THE PROPOSED

PLOT NO. NA
SURVEY NO 19
SITUATED AT , MEDCHAL
A.P.H.B. Main Road

BELONGING TO : Mr./Ms./Mrs

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

APPROVAL NO: 1/C1/09930/2019

SHEET NO.: 6 / 13

COLOR INDEX PLOT BOUNDARY ABUTTING ROAD PROPOSED CONSTRUCTION COMMON PLOT ROAD WIDENING AREA EXISTING (To be retained)

> OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE STRUCTURAL ENGINEER'S NAME AND SIGNATURE

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)

BEDROOM 3.10X3.48

MBEDROOM 3.35X4.11

BEDROOM 3.10X3.48

LIVING/DINING 4.24X5.79

GROUND FLOOR PLAN

(Proposed)

DRAWINGROOM 3.35X6.81

Building: BLDG (BLOCK C)

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT

BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA



FloorNorre	Total Built Up Area (Sq.mt.)	Proposed Net Built up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.)	Dwelling Units (No.)	
Floor Name	Total Built Op Alea (Sq.IIIt.)	Resi.	Total Net Built up Area (34.111t.)	Dwelling Offits (No.)	
Ground Floor	1044.73	1044.73	1044.73	07	
First Floor	1044.73	1044.73	1044.73	07	
Second Floor	1044.73	1044.73	1044.73	07	
Third Floor	1044.73	1044.73	1044.73	07	
ourth Floor	1044.73	1044.73	1044.73	07	
Terrace Floor	0.00	0.00	95.05	00	
Total :	5223.65	5223.65	5318.70	35	
Total Number of Same Buildings :	1				
Total :	5223.65	5223.65	5318.70	35	

			5223.65		52
ILE OF JO	DINERY:				
IG NAME	NAME	LENGTH	HEIGHT	NOS]
LOCK C)	D	0.67	2.10	29	1
LOCK C)	D	0.76	2.10	116	7
LOCK C)	D	0.91	2.10	116	1
LOCK C)	MD	1.07	2.10	35	1
LOCK C)	D	1.32	2.10	29	7
ILE OF JO	DINERY:				_
IG NAME	NAME	LENGTH	HEIGHT	NOS	7
LOCK C)	V	0.76	1.20	58	7
LOCK C)	W	0.76	1.20	29	7
LOCK C)	W	1.18	2.50	05	7
LOCK C)	W	1.22	1.20	29	
					7

 Automatic Fire sprinklers may be may be provided in the cellar apper norms before releasing of Occupancy Certificate. B.T. Road sho
d be formed before releasing of Occupancy Certificate rovided in the Cellar as per the norms before releasing the Occupancy shall be submitted afresh duly paying required fees.
Sanctioned Plan shall be followed strictly while making the constructi on.
Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view.
Commencement Notice shall be submitted by the applicant before commencement of the building U/s 440 of HMC Act.
Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act.
Occupancy Certificate is compulsory before occupying any building.
Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate.
Prior Approval should be obtained separately for any modification in the construction. ree Plantation shall be done along the periphery and also in fron Tot-lot shall be fenced and shall be maintained as greenery at owners cost before issue of occupancy certificate.

Rain Water Harvesting Structure (percolation pit) shall be constructed Space for Transformer shall be provided in the site keeping the safety of the residents in view.

Garbage House shall be made within the premises

Cellar and stilts approved for parking in the plan should be used excl usively for parking of vehicles without partition walls & rolling shut ters and the same should not be converted or misused for any other pur pose at any time in future as per undertaking submitted.

No. of units as sanctioned shall not be increased without prior approval of GHMC at any time in future

This sanction is accorded on surrendering of Road affected portion of the site to GHMC free of cost with out claiming any compensation at any time as per the undertaking submitted.

Strip of greenery on periphery of the site shall be maintained as per rules. rules.

Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended.

The permission accorded does not bar the application or provisions of Urban Land Celling & Regulations Act 1976.

The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.

A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained.

No front compound wall for the site abutting 18 mt. road width shall

Road Affected Area Amenity Area BALANCE AREA OF PLO AccessoryUse Area If greenery is not maintained 10% additional property tax shall be imp osed as penalty every year till the condition is fulfilled. All Public and Semi Public buildings above 300Sq.mts. shall be constructed to provide facilities to physically handicapped persons as per provisions of NBC of 2005. The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced. The Registration authority shall register only the permitted built-up area as per sanctioned plan. The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan. The Services like Sanitation, Plumbing, Fire Safety requirements, lifts, electrical installations etc., shall be executed under the supervision of Qualified Technical Personnel.

Architect / Structural Engineer if changed, the consent of the previous Architect / Structural Engineer is required and to be intimated to the GHMC. Proposed Coverage Area (37.31 Residential Net BUA Commercial Net BUA BUILT UP AREA GHMC.
Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable).
As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable),a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer upervision of the Architect, Structural Engineer and site engin lilling which the violations are liable for demolition besides leg-ction.b. The owner, builder, Architect, Structural Engineer an ngineer are jointly & severely responsible to carry out and oc-e construction strictly in accordance with sanctioned plant, where, Builder, Architect, Structural Engineer and Site Engine MORTGAGE AREA EXTRA INSTALLMENT MORTGAGE AREA Owner, Bulloter, Architect, Structural Engineer and Site Engineer a jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of SI Legacy Medicaged until Congress (Certificate) in a bright of SI / Lease unless and until Occupancy Certificate is obtained from GHM after providing all the regular service connections to each portion of the building and duly submitting the following.(i) Building Complet ion Certificate issued by the Architect duly certifying that the building is completed as per the sanctioned plan.(ii) Structural Stability Certificate issued by the Structural Engineer duly certifying that the building is structurally safe and the construction is in accordance with the specified designs.(iii) An extract of the site registers cont aining inspection reports of Site Engineer, Structural Engineer and Architect.(iv) Insurance Policy for the completed building for a minimum period of three years.

period of three years.
33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

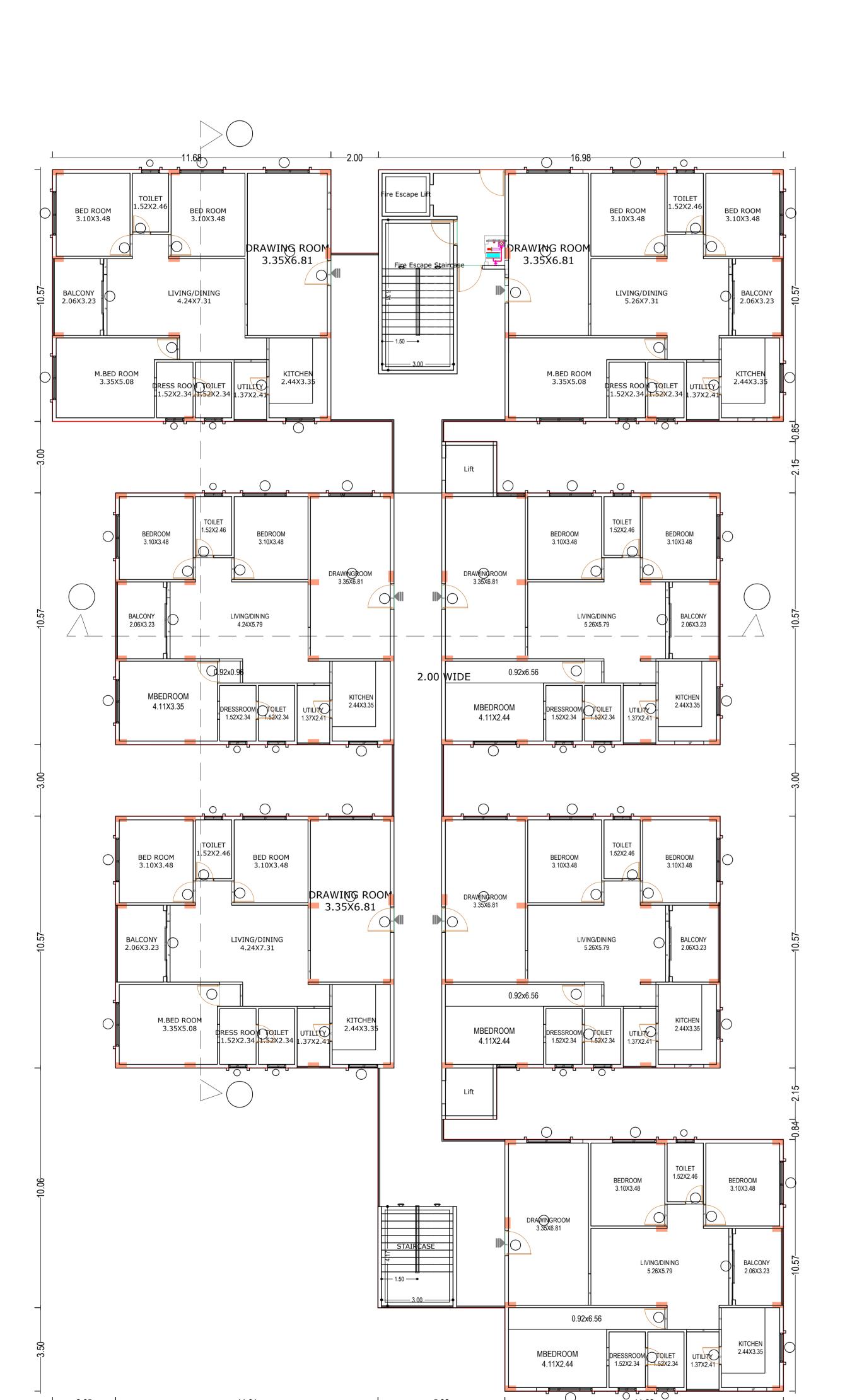
viii) Separate Terr ace Tank of 25,000lits capacity for Residential buildings; xi) Electrical Wiring and installation shall be certified by the electrical engineers to ensure electrical fire safety.

backs area.

The Builder/Developer shall register the project in the RERA website after the launch in July 2018 No Cellar excavation is allowed till the end of Monsoon period i.e 30th September 2019.

DRIVE WAY

SECTION B-B



SOUTH SIDE ELEVATION

GROUND FLOOR PLAN (Proposed) (SCALE 1:100)

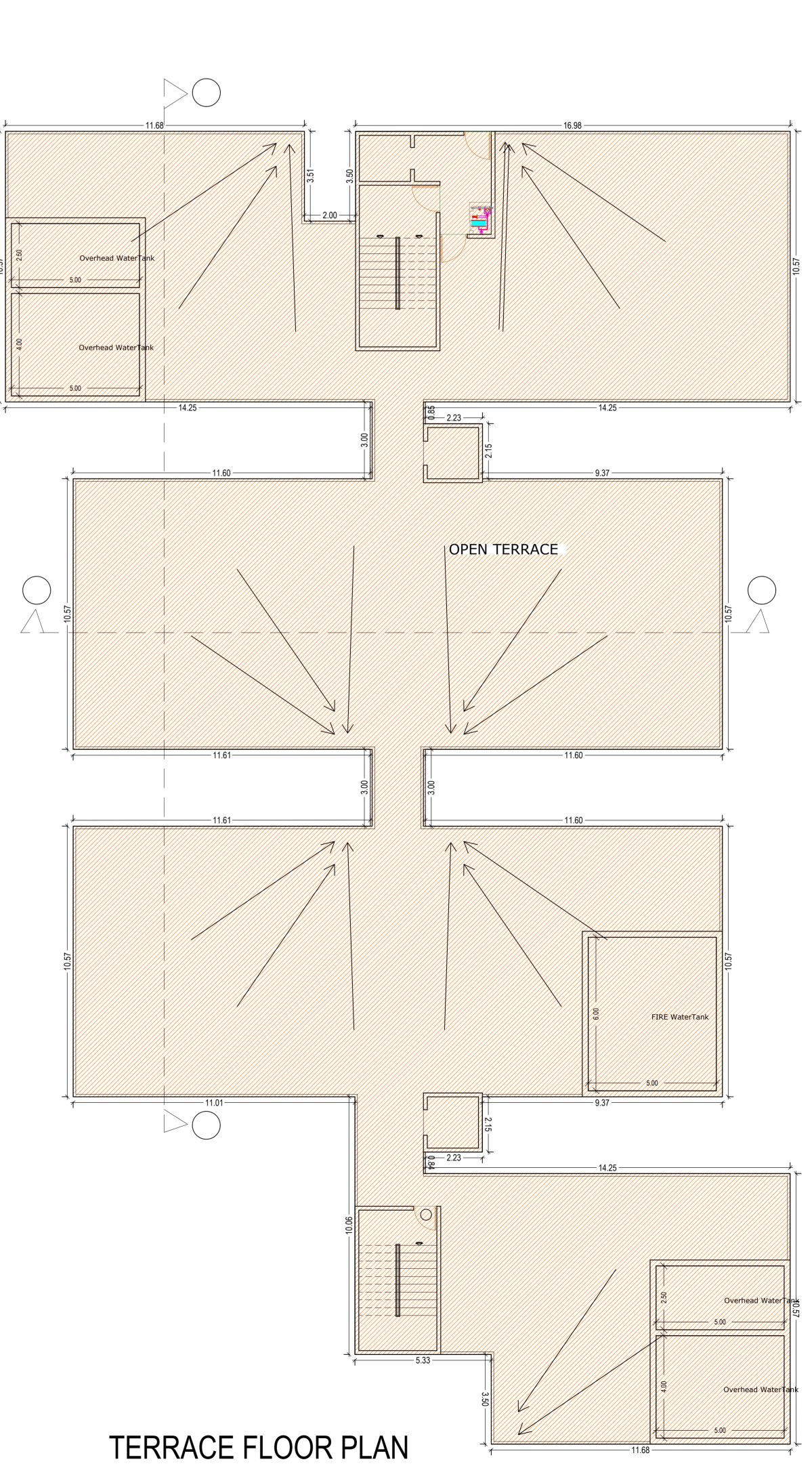


SECTION A-A

FIRST FLOOR PLAN (Proposed) (SCALE 1:100)



TYPICAL - 2, 3, 4 FLOOR PLAN (Proposed) (SCALE 1:100)



(SCALE 1:100)

OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE STRUCTURAL ENGINEER'S NAME AND SIGNATURE

Note: All dimensions are in meters.

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)

Plot Use : Residential

Project Type : Building Permission Plot SubUse : ResiComm Bldg SubLocation : New Areas / Approved Layout Areas Land SubUse Zone: NA Abutting Road Width: 30.00 Plot No : NA

Village Name : A.P.H.B. Main Road Survey No. : 19 North side details : Vacant Land -East side details : Others - NFC CAMPUS West side details : Vacant Land -AREA OF PLOT (Minimum) Deduction for NetPlot Area Road Affected Area / Road Widening Area (A-Deductions) NET AREA OF PLOT (A-Deductions)

PLAN SHOWING THE PROPOSED

SURVEY NO 19 SITUATED AT , MEDCHAL

BELONGING TO : Mr./Ms./Mrs

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

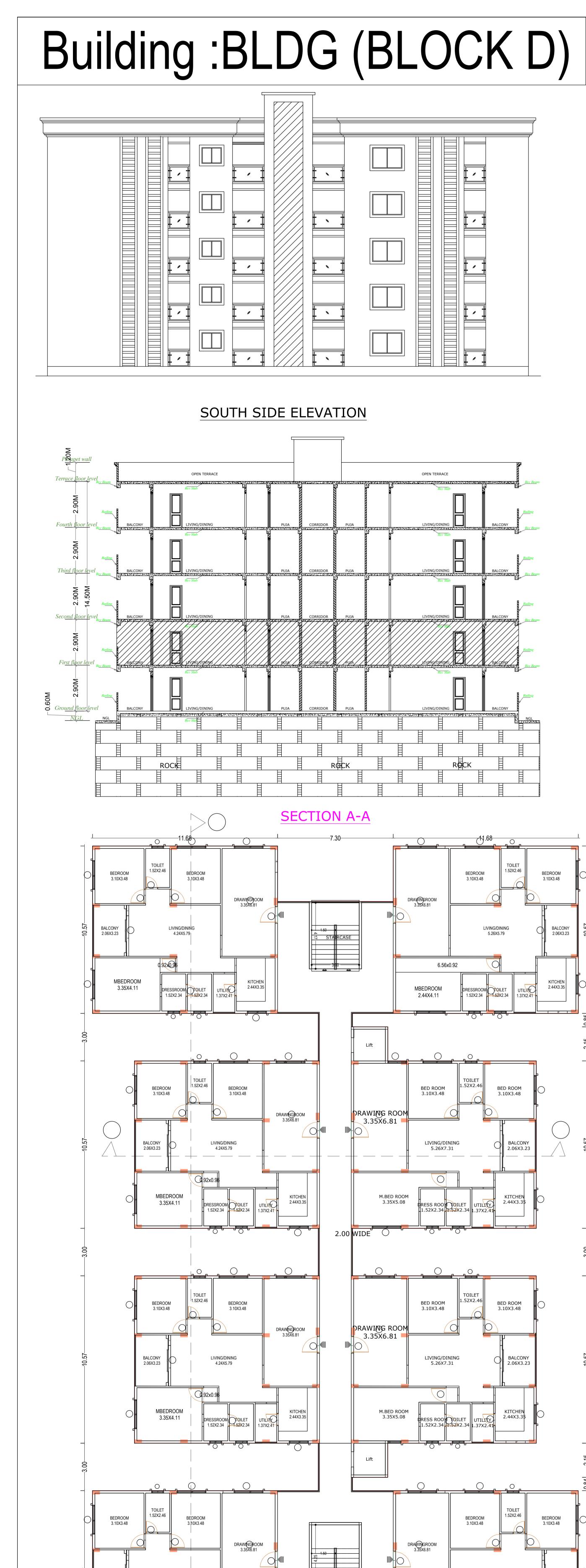
A.P.H.B. Main Road

AREA STATEMENT
PROJECT DETAIL:

Inward_No: 1/C1/19077/2017

Nature of Development : New

ABUTTING ROAD PROPOSED CONSTRUCTION ROAD WIDENING AREA EXISTING (To be retained) EXISTING (To be demolished)



OPEN TERRACE

BEDROOM 3.10X3.48

MBEDROOM

LIVING/DINING 5.26X7.31

BEDROOM 3.10X3.48

LIVING/DINING 5.26X5.79

DRAWINGROOM 3.35X6.81

MBEDROOM 2.44X4.11

BEDROOM 3.10X3.48

FIRST FLOOR PLAN

(Proposed)

(SCALE 1:100)

LIVING/DINING 5.26X5.79

BED ROOM 3.10X3.48



PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT BELONGING TO:

M/S. GULMOHAR RESIDENCY & JADE ESTATES. BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

Building :BLDG (BLOCK D)

ROCK

3 00

LIVING/DINING 5.26X5.79

BEDROOM 3.10X3.48

6.56x0.92

6.56x0.92

DRA**(VIN)**GROOM 3.35X6.81

MBEDROOM 2.44X4.11

BEDROOM 3.10X3.48

BEDROOM 3.10X3.48

LIVING/DINING 5.26X5.79

ROCK

BEDROOM 3.10X3.48

BEDROOM 3.10X3.48

BEDROOM 3.10X3.48

Floor Name	Total Built Up Area (Sq.mt.)	Proposed Net Built up Area (Sq.mt.)	Add Area In Net Built up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.)	Dwelling l
Floor Name	Total Built Op Area (Sq.IIIt.)	Resi.	Stair	Total Net built up Area (5q.mt.)	Dwelling
Ground Floor	1179.24	1179.24	0.00	1179.24	
First Floor	1179.24	1179.24	0.00	1179.24	
Second Floor	1179.24	1179.24	0.00	1179.24	
Third Floor	1179.24	1179.24	0.00	1179.24	
Fourth Floor	1179.24	1179.24	0.00	1179.24	
Terrace Floor	0.00	0.00	12.50	107.55	
Total :	5896.20	5896.20	12.50	6003.75	
Total Number of Same Buildings :	1				
Total ·	5896.20	5896 20	12.50	6003.75	

SCHEDULE OF JOINERY:

ip of greenery on periphery of the site shall be maintained as per ing which permission is liable to be suspended.

The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976.

The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.

A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained. Tension electrical line shall be maintained.

ront compound wall for the site abutting 18 mt. road width shall llowed and only Iron grill or Low height greenery hedge shall be allowed.

Figreenery is not maintained 10% additional property tax shall be imp figreenery is not maintained 10% additional property tax shall be imp seed as penalty every year till the condition is fulfillied.

All Public and Semi Public buildings above 300Sq.mts. shall be construited to provide facilities to physically handicapped persons as per reviewings of NRC of 2005. provisions of NBC of 2005. The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced. The Registration authority shall register only the permitted built-up area as per sanctioned plan. The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan only to the permitted built-up area as per sanctioned plan
The Services like Sanitation, Plumbing, Fire Safety requirements, lifts,
electrical installations etc., shall be executed under the supervision
of Qualified Technical Personnel.

Architect / Structural Engineer if changed, the consent of the previous
Architect / Structural Engineer is required and to be intimated to the GHMC.
Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable).
As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable),a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action.b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHN after providing all the regular service connections to each portion aning inspection reports of site Engineer, structural Engineer and Architect, (iv) Insurance Policy for the completed building for a minimum period of three years.

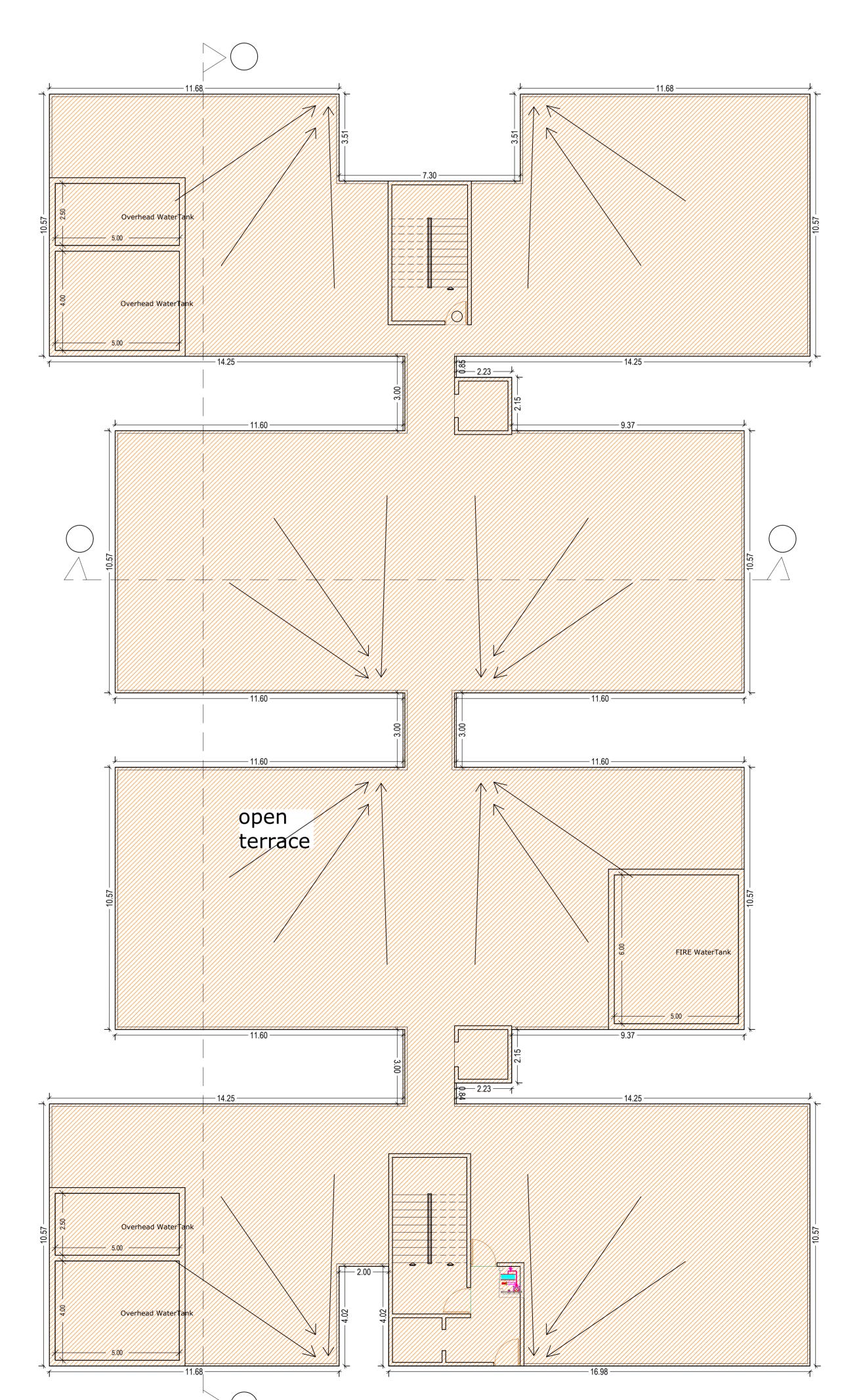
33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.

The Builder/Developer shall register the project in the RERA website after the launch in July 2018 No Cellar excavation is allowed till the end of Monsoon period i.e

BEDROOM 3.10X3.48 DRAWINGROOM 3.35X6.81 LIVING/DINING BALCONY
BURNEY Area to Mortgage 2.06x3.23 MBEDROOM 3.35X4.11 BEDROOM 3.10X3.48 BED ROOM 3.10X3,48 BED ROOM 3.10X3,48 5,26XB@It Up Area to Mortgade 2,06X3,2 BED ROOM 3.10X3,48 BEDROOM 3,10X3,48 BED ROOM 3,10X3.48 DRAWINGROOM 3.35X6.81 424X5Built Up Area to Mortgage 5,26×Built Up Area to Mortgade 2,06×3,2 BEDROOM 3.10X3.48 BEDROOM 3.10X3.48 BEDROOM 3.10X3,48 LIVING/DINING 4.24X5.79 LIVING/DINING
BUTTO Area to Mortgage 2.06x3.23 MBEDROOM 3.35X4.11 MBEDROOM 2.44X4.11

TYPICAL - 2, 3, 4 FLOOR PLAN (Proposed) (SCALE 1:100)



TERRACE FLOOR PLAN (SCALE 1:100)

formed before releasing of Occupancy Certificate d be di in the Cellar as per the norms before releasing the Occupancy Certificate.

4. Transformer is not allowed in Tot-lot.
The permission accorded does not confer any ownership rights, At a late stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act 1955.
If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees.
Sanctioned Plan shall be followed strictly while making the constructions. PROJECT DETAIL Inward_No: 1/C1/19077/2017 oned Plan copy as attested by the GHMC shall be displayed at the Project Type : Building Permission onstruction site for public view.

Commencement Notice shall be submitted by the applicant before commerement of the building U/s 440 of HMC Act.

Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act.

Occupancy Certificate is compulsory before occupying any building. Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate. SubLocation : New Areas / Approved Layout Areas Village Name : A.P.H.B. Main Road Plantation shall be done along the periphery and also in front Rain Water Harvesting Structure (percolation pit) shall be constructed Space for Transformer shall be provided in the site keeping the safety of the residents in view.
Garbage House shall be made within the premises
Cellar and stilts approved for parking in the plan should be used excl
usively for parking of vehicles without partition walls & rolling shut
ters and the same should not be converted or misused for any other pur
pose at any time in future as per undertaking submitted.
No. of units as sanctioned shall not be increased without prior approval
of GHMC at any time in future
This sanction is accorded on surrendering of Road affected portion of
he site to GHMC free of cost with out claiming any compensation at
ny time as per the undertaking submitted. AREA DETAILS

AREA OF PLOT (Minimum) Deduction for NetPlot Area Road Affected Area / Road Widening Area (A-Deductions) NET AREA OF PLOT Road Affected Area Amenity Area (A-Deductions) BALANCE AREA OF PLO AccessoryUse Area Proposed Coverage Area (37.31 Residential Net BUA Commercial Net BUA BUILT UP AREA MORTGAGE AREA EXTRA INSTALLMENT MORTGAGE AREA

PLAN SHOWING THE PROPOSED

SURVEY NO 19
SITUATED AT , MEDCHAL
A.P.H.B. Main Road

BELONGING TO : Mr./Ms./Mrs

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

APPROVAL NO: 1/C1/09930/2019

SHEET NO.: 8 /13

Plot Use : Residential

Plot SubUse : ResiComm Bldg

Land SubUse Zone : NA Abutting Road Width: 30.00

North side details : Vacant Land -

West side details : Vacant Land -

Plot No : NA Survey No. : 19

ABUTTING ROAD PROPOSED CONSTRUCTION ROAD WIDENING AREA EXISTING (To be retained) EXISTING (To be demolished)

> OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE

STRUCTURAL ENGINEER'S NAME AND SIGNATURE

Note: All dimensions are in meters.

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)

LIVING/DINING 4.24X5.79

GROUND FLOOR PLAN

(Proposed)

(SCALE 1:100)

MBEDROOM 3.35X4.11

DRAWINGROOM 3.35X6.81

LIVING/DINING 4.24X5.79

MBEDROOM 3.35X4.11

Building: BLDG (BLOCKE)

OPEN TERRACE

DRIVE WAY

SECTION B-B

DRAWINGROOM 3,35X6.81

Living/Dining 424X5B@illt Up Area to Mortgage

นพากฐภาพการ 4:24x533ขาใน Up Area to Mortgage

DRIVE WAY

BEDROOM 3.10X3.48

MBEDROOM 4.11X3.35

LIVING/DINING 4.24X5.79

OPEN TERRACE

BEDROOM 3.10X3.48

LIVING/DINING BALCONY

BUNKERS Area to Mortgage 2.06X3.23

LIVING/DINING

BURENE Area to Mortgage 2.06X3.23

BEDROOM 3.10X3.48

MBEDROOM 4.11X2.44

LIVING/DINING 5.26X5.79

BEDROOM 3.10X3.48

MBEDROOM 4.11X2.44

BEDROOM 3:10X3.48

Living bining Balcony Balcony 5.06x3.23

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT

BELONGING TO: M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA



OPEN TERRACE

SECTION A-A

Floor Name	Total Built Up Area (Sq.mt.)	Proposed Net Built up Area (Sq.mt.)	Add Area In Net Built up Area (Sq.mt.)	Total Net Built up Area (Sq.mt.)	Dwelling Units (N
	Total Built Op Alea (Sq.IIIt.)	Resi.	Stair	Total Net Built up Alea (34.111t.)	
Ground Floor	1044.44	1044.44	0.00	1044.44	
First Floor	1044.44	1044.44	0.00	1044.44	
Second Floor	1044.44	1044.44	0.00	1044.44	
Third Floor	1044.44	1044.44	0.00	1044.44	
Fourth Floor	1044.44	1044.44	0.00	1044.44	
Terrace Floor	0.00	0.00	12.50	107.55	
Total:	5222.20	5222.20	12.50	5329.75	
Total Number of Same Buildings :	1				
Total :	E222.20	E222.20	12.50	F220.75	

SCHEDULE OF JOINERY:					
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS	
BLDG (BLOCK E)	D	0.67	2.10	35	
BLDG (BLOCK E)	D	0.76	2.10	140	
BLDG (BLOCK E)	D	0.91	2.10	140	
BLDG (BLOCK E)	MD	1.07	2.10	35	
BLDG (BLOCK E)	D	1.32	2.10	35	
SCHEDULE OF JOINERY:					
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS	
BLDG (BLOCK E)	V	0.76	1.20	70	
BLDG (BLOCK E)	W	0.76	1.20	35	
BLDG (BLOCK E)	w0	1.20	2.44	05	
BLDG (BLOCK E)	۱۸/	1 22	1 20	25	

ABUTTING ROAD PROPOSED CONSTRUCTION ROAD WIDENING AREA EXISTING (To be retained) EXISTING (To be demolished)

PLAN SHOWING THE PROPOSED

SURVEY NO 19
SITUATED AT , MEDCHAL

BELONGING TO: Mr./Ms./Mrs

& JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri.

APPROVAL NO: 1/C1/09930/2019

Plot Use : Residential

Plot SubUse : ResiComm Bldg

Land SubUse Zone: NA

Plot No : NA Survey No. : 19

(A-Deductions)

(A-Deductions)

Abutting Road Width: 30.00

North side details : Vacant Land -

West side details : Vacant Land -

East side details : Others - NFC CAMPUS

A.P.H.B. Main Road

PROJECT DETAIL

AREA DETAILS

AREA OF PLOT (Minimum)

Deduction for NetPlot Area

NET AREA OF PLOT

BALANCE AREA OF PLO

BUILT UP AREA

MORTGAGE AREA

Road Affected Area

AccessoryUse Area

Residential Net BUA Commercial Net BUA

EXTRA INSTALLMENT MORTGAGE AREA

Proposed Coverage Area (37.31

Amenity Area

Inward_No: 1/C1/19077/2017

Project Type : Building Permission

SubLocation : New Areas / Approved Layout Areas

Road Affected Area / Road Widening Area

Nature of Development : New

formed before releasing of Occupancy Certificate

Certificate.

4. Transformer is not allowed in Tot-lot.
The permission accorded does not confer any ownership rights, At a later stage if it is found that the documents are false and fabricated the permission will be revoked U/s 450 of HMC Act 1955. If construction is not commenced within one year, building application shall be submitted afresh duly paying required fees.
Sanctioned Plan shall be followed strictly while making the constructions.

on.
Sanctioned Plan copy as attested by the GHMC shall be displayed at the construction site for public view.
Commencement Notice shall be submitted by the applicant before commencement of the building U/s 440 of HMC Act.
Completion Notice shall be submitted after completion of the building & obtain occupancy certificate U/s 455 of HMC Act.
Occupancy Certificate is compulsory before occupying any building.
Public Amenities such as Water Supply, Electricity Connections will be provided only on production of occupancy certificate.

Approval should be obtained separately for any modification in

Plantation shall be done along the periphery and also in front

Rain Water Harvesting Structure (percolation pit) shall be constructed

Space for Transformer shall be provided in the site keeping the safety

of the residents in view.

Garbage House shall be made within the premises

Cellar and stilts approved for parking in the plan should be used excl

usively for parking of vehicles without partition walls & rolling shut

ters and the same should not be converted or misused for any other pur

pose at any time in future as per undertaking submitted.

No. of units as sanctioned shall not be increased without prior approval

of GHMC at any time in future

This sanction is accorded on surrendering of Road affected portion of

the site to GHMC free of cost with out claiming any compensation at

any time as per the undertaking submitted.

strip of greenery on periphery of the site shall be maintained as per

rules.
Stocking of Building Materials on footpath and road margin causing obs truction to free movement of public & vehicles shall not be done, fail ing which permission is liable to be suspended.

The permission accorded does not bar the application or provisions of Urban Land Ceiling & Regulations Act 1976.

The Developer / Builder / Owner to provide service road wherever required with specified standards at their own cost.

A safe distance of minimum 3.0mts. Vertical and Horizontal Distance between the Building & High Tension Electrical Lines and 1.5mts. for Low Tension electrical line shall be maintained.

No front compound wall for the site abutting 18 mt. road width shall be allowed and only Iron grill or Low height greenery hedge shall be allowed.

allowed.

If greenery is not maintained 10% additional property tax shall be imposed as penalty every year till the condition is fulfilled.

All Public and Semi Public buildings above 300Sq.mts. shall be constru

provisions of NBC of 2005.

The mortgaged builtup area shall be allowed for registration only after an Occupancy Certificate is produced.

The Registration authority shall register only the permitted built-up area as per sanctioned plan.

The Financial Agencies and Institutions shall extend loans facilities only to the permitted built-up area as per sanctioned plan

only to the permitted built-up area as per sanctioned plan
The Services like Sanitation, Plumbing, Fire Safety requirements, lifts,
electrical installations etc., shall be executed under the supervision
of Qualified Technical Personnel.
Architect / Structural Engineer if changed, the consent of the previous
Architect / Structural Engineer is required and to be intimated to the
GHMC.

GHMC.

Construction shall be covered under the contractors all risk Insurance till the issue of occupancy certificate (wherever applicable).

As per the undertaking executed in terms of G.O. Ms. No. 541 MA, dt. 17-11-2000 (wherever applicable).a. The construction shall be done by the owner, only in accordance with sanctioned Plan under the strict supervision of the Architect, Structural Engineer and site engineer failing which the violations are liable for demolition besides legal action.b. The owner, builder, Architect, Structural Engineer and site engineer are jointly & severely responsible to carry out and complete the construction strictly in accordance with sanctioned plan.c. The Owner, Builder, Architect, Structural Engineer and Site Engineer are jointly and severely are held responsible for the structural stability during the building construction and should strictly adhere to all the

conditions in the G.O.d. The Owner / Builder should not deliver the possession of any part of built up area of the building, by way of Sale / Lease unless and until Occupancy Certificate is obtained from GHM after providing all the regular service connections to each portion

aning inspection reports of site Engineer, structural Engineer and Architect, (iv) Insurance Policy for the completed building for a minimum period of three years.

33. Structural Safety and Fire Safety Requirements shall be the respon sibility of the Owner, Builder/ Developer, Architect and St. Engineer to provide all necessary Fire Fighting installations as stipulated in National Building Code of India, 2005 like;

To provide one entry and one exit to the premises with a minimum width of 4.5mts. and height clearance of 5mts.

to be

xii) Transformers shall be protected with 4 hours rating fire resist constructions. xiii) To create a joint open spaces with the neighbours building / premises for maneuverability of fire vehicles. No parking or any constructions shall be made in set backs area.

раскs area.

The Builder/Developer shall register the project in the RERA website after the launch in July 2018 No Cellar excavation is allowed till the end of Monsoon period i.e

FIRE WaterTank

Overhead Water Tan

Overhead Water Tank



TERRACE FLOOR PLAN (SCALE 1:100)

7.30
BEDROOM 3.10X3.48 TOILET 1.52X2.46 BEDROOM 3.10X3.48 DRAWINGROOM 3.35X6.81 DRAWINGROOM 3.35X6.81
BALCONY 2.06X3.23 LIVING/DINING 4.24X5.79 BALCONY 2.06X3.23 0.92x6.56 0.92x6.56
MBEDROOM 4.11X3.35 DRESSROOM TOILET 1.52X2.34 MBEDROOM 4.11X2.44 MBEDROOM 4.11X2.44
BEDROOM 3.10X3.48 BEDROOM 3.10X3.48 BEDROOM 3.10X3.48
DRAW(GROOM 3.35X6.81) BALCONY 2.06X3.23 LIVING/DINING 4.24X5.79 BALCONY 2.06X3.23 DRAW(GROOM 3.35X6.81) DRAW(GROOM 3.35X6.81) DRAW(GROOM 3.35X6.81)
MBEDROOM 4.11X3.35 DRESSROOM TOILET 1.52X2.34 52X2.34 1.37X2.41 2.44X3.35 2.00 WIDE 4.11X2.44 DRESSROOM TOILET 1.52X2.34 1.52X2.34 1.37X2.41 1.37X2.41
BEDROOM 3.10X3.48 BEDROOM 3.10X3.48 DRAWINGROOM 3.35X6.81 DRAWINGROOM 3.35X6.81
BALCONY 2.06X3.23 LIVING/DINING 5.26X5.79 D.92x6.56 D.92x6.56
MBEDROOM 4.11X3.35 DRESSROOM TOILET 1.52X2.34 DRESSROOM 1.52X2.34
BEDROOM 1.52X2.46 BEDROOM 3.10X3.48 BEDROOM 3.10X3.48
DRAWINGROOM 3.35X6.81 LIVING/DINING 5.26X5.79 BALCONY 2.06X3.23
0.92x6.56

SOUTH SIDE ELEVATION

GROUND FLOOR PLAN FIRST FLOOR PLAN (Proposed) (Proposed) (SCALE 1:100) (SCALE 1:100)

4.11X2.44

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)



TYPICAL - 2, 3, 4 FLOOR PLAN (Proposed) (SCALE 1:100)

OWNER'S NAME AND SIGNATURE BUILDER'S NAME AND SIGNATURE ARCHITECT'S NAME AND SIGNATURE STRUCTURAL ENGINEER'S NAME AND SIGNATURE