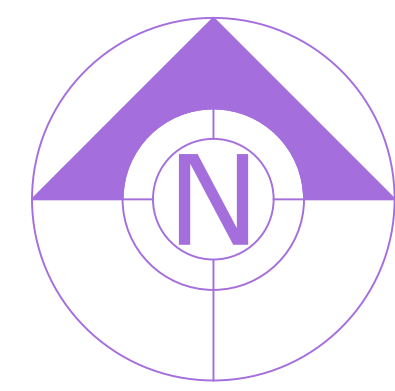


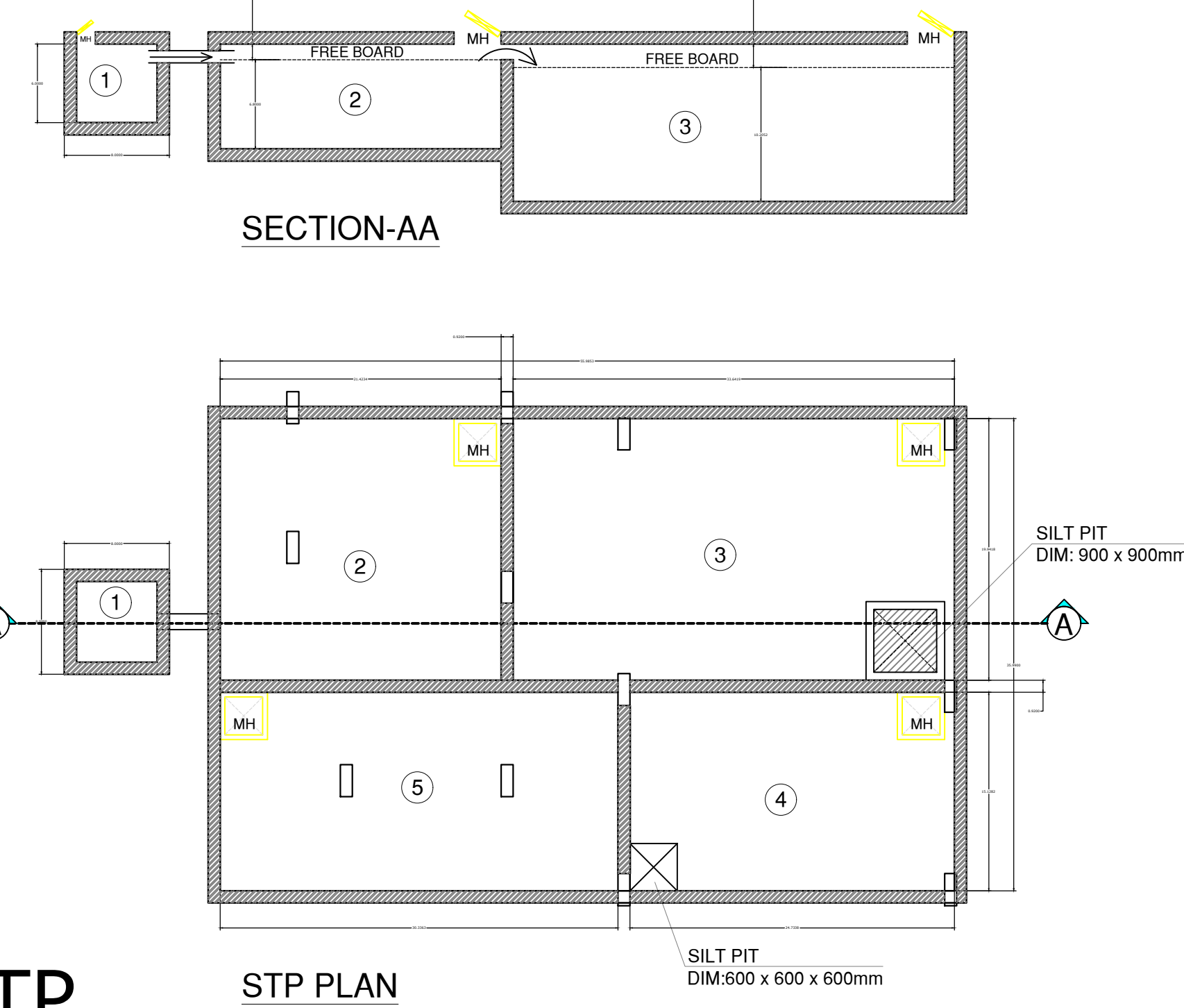
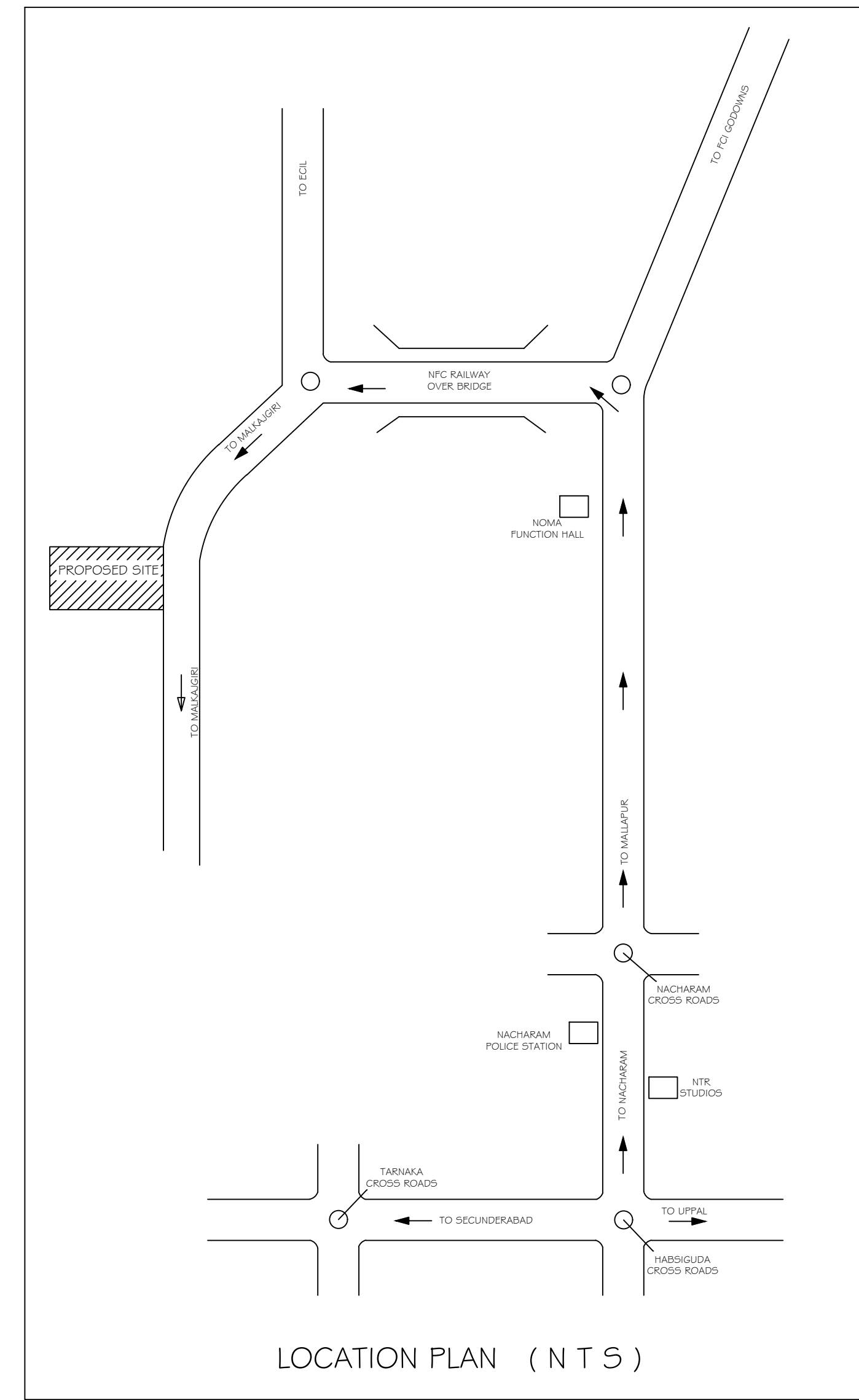
BOTH REPRESENTED BY ITS MANAGING PARTNER
SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA



Project Title		
PLAN SHOWING THE PROPOSED	Residential	
PLOT NO.	NA	
SURVEY NO.	13	
SITUATED AT	MEDCHAL	
A.P.H.E. Main Road		
BELONGING TO	Ms. GULSHAR RESENYEN	
& JACE ESTATES	Represented by its Managing	
Partner Shrs. Sudhar U. Marla Sro. Late. Srs.		
Usuald Menta		
REP BY:	Superior, C	ABOU NAYEM NASIR
LICENCE NO.	CA/1960/12947	APPROVAL NO. 1/C/106830/2019
DATE:	05-01-2019	SHEET NO. 1 / 13

AREA PROJECT STATEMENT			
Project No.: SC17000017		Pst Use: Residential	
Project Type: Building Permission		Pst SubUse: Res/Com Bldg	
Nature of Development: New		Polymetric/Profil/Relig/Agri/Grass/Zone: NA	
Sub-Location: Lateral Area: Approved Layout Area		Land Use Zone: Residential	
Village Name: A.P.H. Main Road		Land Sub-Use Zone: NA	
Municipal: URBAN		Avaluing Road Width: 30.00	
		Pst Pop: NA	
		Survey No.: 19	
		Near side sds: 'Vacant' Land	
		South side sds: Road/WEST/1.00	
		East side sds: Others: NH CAMPUS	
		West side sds: 'Vacant' Land	
AREA DETAILS		SQ. MT.	
AREA OF PLOT (Minimum)		(A)	3202.03
Deduction for Nat'l Area			
Road Affected Area / Road Widening Area			962.95
Total			2239.08
NET AREA OF PLOT (A-Deductions)			2239.08
Road Affected Area			962.95
Anxiety Area			2202.01
Total			1183.95
BALANCE AREA OF PLOT (A-Deductions)			20.08
Accessory Use Area			16.96
Vacant Plot Area			1425.50
COVERAGE			
Proposed Coverage Area (37.31 %)			848.42
Net Bld			
Residential Net BUA			4040.59
Commercial Net BUA			2502.01
BUILT UP AREA			2040.75
MORTGAGE AREA			4240.19
EXTRA INSTALMENT MORTGAGE AREA			538.19
Proposed Number of Plotings			461

Approval No. : UC171907X22C



STP

STP PLAN

STP

STP PLAN

Net Built up Area & Dwelling Units Details

Building	No. of Same Bldg	Total Built Up Area (Sq. Mts.)	Decisions (Area in Sq. Mts.)			Proposed Net Built Up Area (Sq. Mts.)		Add Area in Built Up Area (Sq. Mts.)		Total Net Built Up Area (Sq. Mts.)	Overling Units (No.)
			V/Suit	Accessory Use	Parking	Base	Commercial	Surf	L/R		
BUILDG BLOCK C	1	5231.85	0.00	0.00	0.00	5231.85	0.00	0.00	0.00	5231.85	8378.70
BUILDG BLOCK C	1	5986.20	0.00	0.00	0.00	5986.20	0.00	12.50	0.00	6000.70	9000.70
BUILDG BLOCK C	1	5990.20	0.00	0.00	0.00	5990.20	0.00	0.00	0.00	5990.20	5990.20
BUILDG BLOCK C	1	1711.00	0.00	0.00	0.00	1711.00	0.00	0.00	0.00	1711.00	2666.67
BUILDG BLOCK C	1	4430.54	0.00	0.00	0.00	4430.54	0.00	12.50	4.01	4457.05	6846.06
BUILDG BLOCK C	1	4430.54	0.00	0.00	0.00	4430.54	0.00	12.50	0.00	4453.05	6842.05
BUILDG BLOCK C	1	5232.80	0.00	0.00	0.00	5232.80	0.00	12.50	0.00	5250.30	8380.15
BUILDG BMENT/BLOCK	1	2532.10	0.00	0.00	0.00	2532.10	0.00	2050.61	38.94	5221.65	8102.54
BUILDG BLOCK A	1	1907.16	650.00	76.78	1820.44	5887.15	0.00	36.92	1110.7	8014.87	12144.00
BUILDG BLOCK A	1	4675.15	65.00	0.00	0.00	4675.15	0.00	36.92	1110.7	5847.77	8796.90

Required Parking

Building Name	Type	SubUse	Area [Sq.ft.]	Units		Required Parking Area [Sq.ft.]
				Required	Proposed	
BLDG (BLOCK C)	Residential	Residential Apartment (Bk)	> 0	1	522/65	1567/69
BLDG (BLOCK C)	Residential	Residential Apartment (Bk)	> 0	1	559/69	1708/86
BLDG (BLOCK B)	Residential	Residential Apartment (Bk)	> 0	1	468/69	1368/86
BLDG (BLOCK B)	Residential	Residential Apartment (Bk)	> 0	1	371/69	1024/86
BLDG (BLOCK A)	Residential	Residential Apartment (Bk)	> 0	1	433/64	1202/79
BLDG (BLOCK F)	Residential	Residential Apartment (Bk)	> 0	1	448/63	1231/56
BLDG (BLOCK E)	Residential	Residential Apartment (Bk)	> 0	1	532/21	1066/66
BLDG (MENTITY BLOCK)	Commercial	Shop	> 0	1	202/61	661/64
BLDG (BLOCK A)	Residential	Residential Apartment (Bk)	> 0	1	558/75	1816/95

Parking Check

Vehicle Type	Required		Proposed		Proposed Area(Sq.mt.)
	No.	Area(Sq.mt.)	No.	Area(Sq.mt.)	
Total Car	-	1294.131	0	0.00	18936.30
Visitor's Car Parking	-	1294.15	190.06	2138.13	-
Total		14235.46		2138.13	18936.30

[Publish Your Own Details](#)

Building Type - Use - Occupancy Units				
Bldg Name	Building Use	Building Sub Use	Building Type	Floor Details
BLDG (BLOCK C)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK D)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK B)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK F)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK E)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK H)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK I)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (ARENTY BLOCK A)	Commercial	Shop	Single Block	1 Ground + 4 upper floors
BLDG (BLOCK A)	Residential	Residential Apartment Bldg	Single Block	2 Cellar + 1 Ground + 4 upper floors

OWNER'S NAME AND SIGNATURE

BUILDER'S NAME AND SIGNATURE

ARCHITECT'S NAME AND SIGNATURE

STRUCTURAL ENGINEER'S NAME AND SIGNATURE
--

Note: All dimensions are in meters

SITE PLAN

SCALE :1:100

30m wide road

Lp

Lp

To

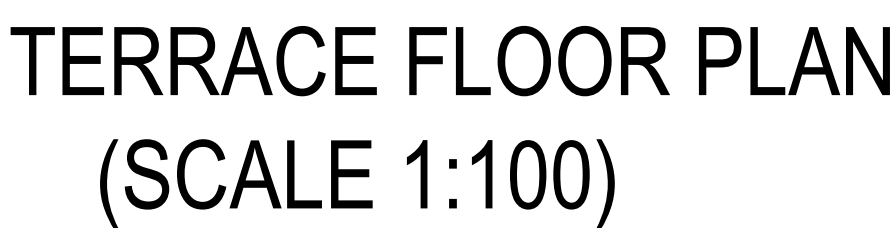
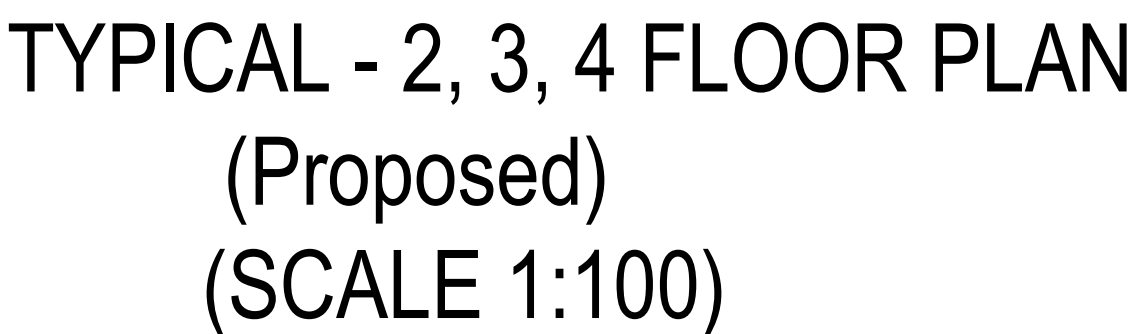
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ISO full bleed 2A0 (1189.00 x 1682.00 MM)

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP
HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE,
GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT.

BELONGING TO:
M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER
SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA



Floor Name	Total Built-Up Area (Sq.m)	Proposed Net Built-Up Area (Sq.m)		Total Net Built-Up Area (Sq.m)	Dwelling Units (No.)
		Rear	Star		
Ground Floor	754.00	754.00	0.00	754.00	06
First Floor	754.00	754.00	0.00	754.00	06
Second Floor	754.00	754.00	0.00	754.00	06
Third Floor	754.00	754.00	0.00	754.00	06
Fourth Floor	754.00	754.00	0.00	754.00	06
Fifth Floor	754.00	754.00	0.00	754.00	06
Total	3773.00	3773.00	0.00	3773.00	30
Total Number of Same Buildings	1	1	12.50	3885.50	30

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK F)	D1	0.63	2.10	15
BLDG (BLOCK F)	D2	0.76	2.10	90
BLDG (BLOCK F)	D1	0.91	2.10	105
BLDG (BLOCK F)	OP	0.91	2.10	15
BLDG (BLOCK F)	MD	1.07	2.10	30

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BILDG (BLOCK F)	V	0.76	1.00	60
BILDG (BLOCK F)	W2	1.21	2.10	15
BILDG (BLOCK F)	KW	1.22	1.20	30
BILDG (BLOCK F)	W2	1.23	2.10	15
BILDG (BLOCK F)	W2	1.32	2.10	15
BILDG (BLOCK F)	W2	1.37	1.20	30
BILDG (BLOCK F)	W2	1.41	2.10	15
BILDG (BLOCK F)	W	1.81	1.20	06
BILDG (BLOCK F)	W	1.83	1.20	25
BILDG (BLOCK F)	W	1.83	1.37	75

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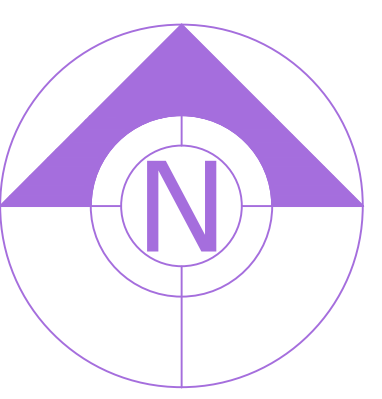
COLOR INDEX	
PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED CONSTRUCTION	
COMMON PLOT	
ROAD WIDENING AREA	
EXISTING (To be retained)	
EXISTING (To be demolished)	

OWNER'S NAME AND SIGNATURE
BUILDER'S NAME AND SIGNATURE
ARCHITECT'S NAME AND SIGNATURE
STRUCTURAL ENGINEER'S NAME AND SIGNATURE

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT.

BELONGING TO:
M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER
SRI. SUDBHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

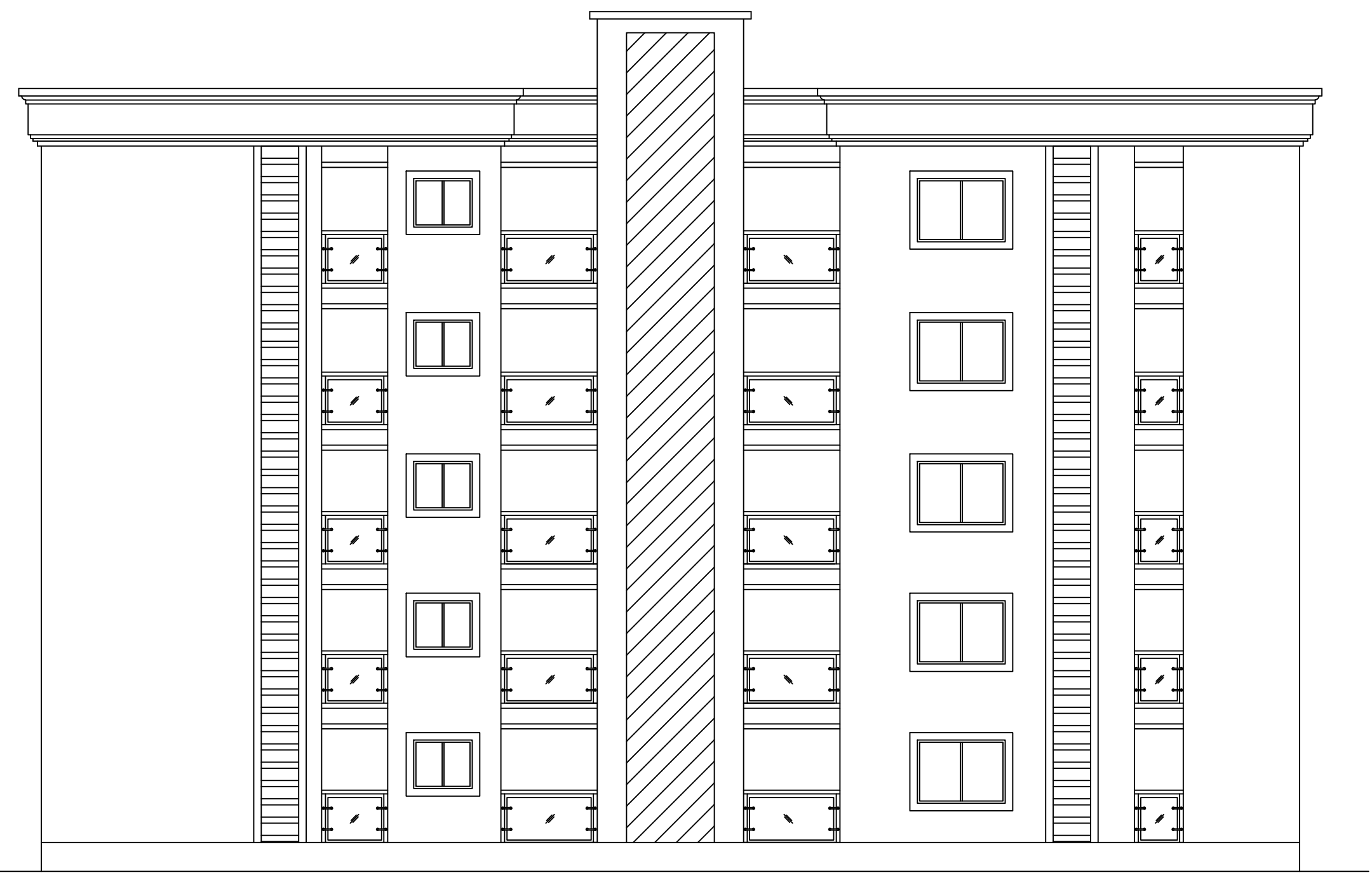
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COLOR INDEX	
PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED CONSTRUCTION	
COMMON PLOT	
ROAD WIDENING AREA	
EXISTING (To be retained)	
EXISTING (To be demolished)	

	BUILDER'S NAME AND SIGNATURE
--	------------------------------

	ARCHITECT'S NAME AND SIGNATURE
	STRUCTURAL ENGINEER'S NAME AND SIGNATURE

Note: All dimensions are in meters.



SOUTH SIDE ELEVATION



SECTION A-A



GROUND FLOOR PLAN
(Proposed)
(SCALE 1:100)



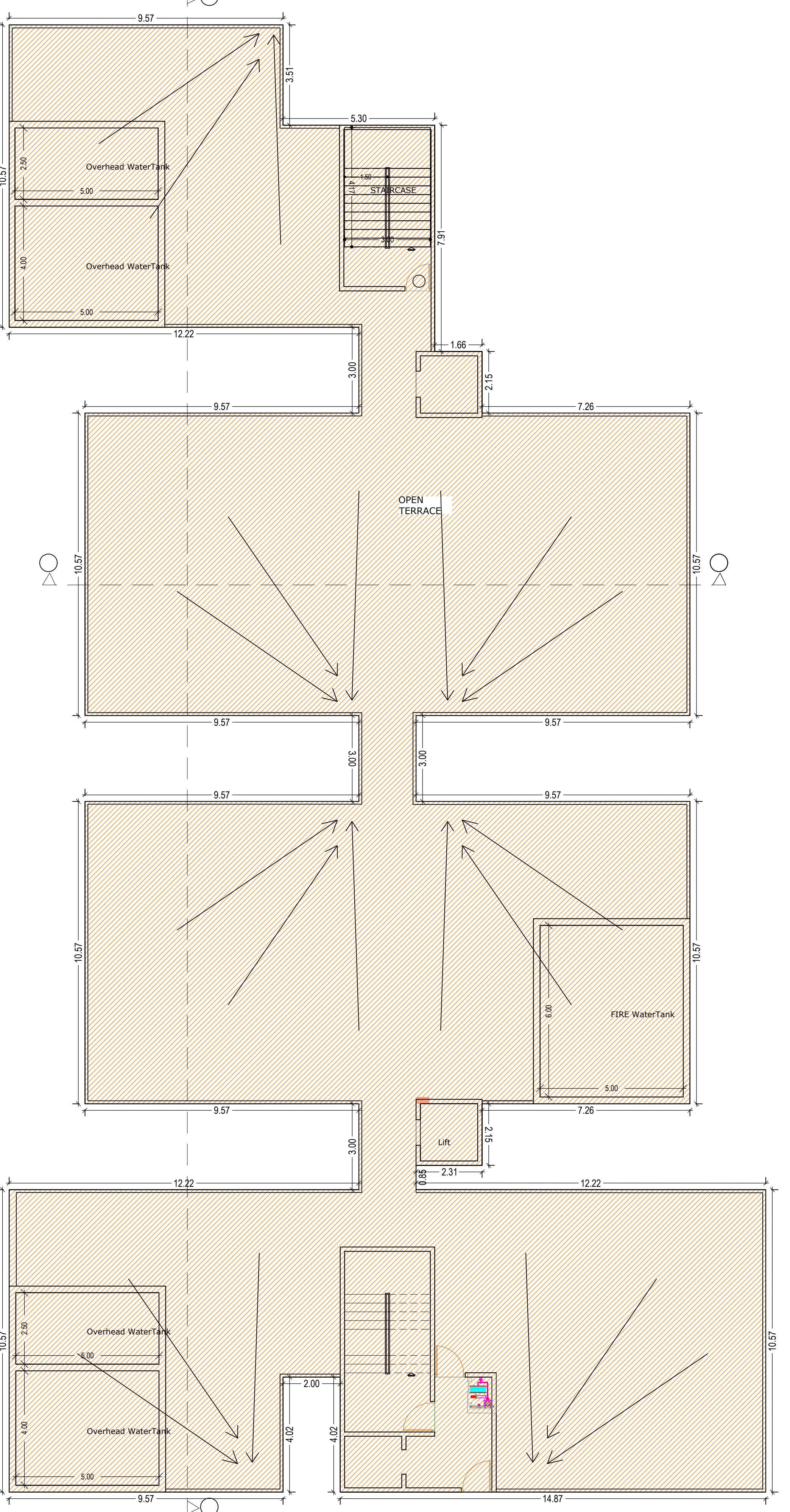
SECTION B-B



FIRST FLOOR PLAN
(Proposed)
(SCALE 1:100)



TYPICAL - 2, 3, 4 FLOOR PLAN
(Proposed)
(SCALE 1:100)

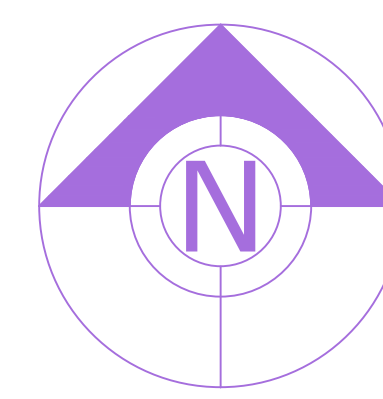


TERRACE FLOOR PLAN
(SCALE 1:100)

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE, GHMC KAPRA CIRCLE, UPPAL MANDAL, MEDCHAL DISRTICT.

BELONGING TO:
M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER
SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA



Project Title	
PLAN SHOWING THE PROPOSED PLOT NO. NA SURVEY NO. 19 SITUATED AT MEDICAL A.P.H.E. Main Road, BELONGING TO: M/s.Mr. & JADE ESTATES Represented by its Managing Partner Shri. Sudhir U. Mehta S/o. Late. Shri. Unishil Mehta REP BY : Supervisor_C	Residential Ms. GULMOHAR RESIDENT ABDUL NAYTEEM NASIR
LICENCE NO. CA169012347	APPROVAL NO.: 1C1089302019

AREA STATEMENT		
PROJECT DETAIL		
Issued By: UG1/2007/0017	Plot Use: Residential	
Project Description: Building Permission	Plot Sub-Use: Recreational Bldg	
Nature of Development: Urban	Prohibited Development: Agriculture	
Education Area: Approved Layout Area	Land Use Zone: Residential	
Village Name: A.P.H. Main Road	Land Section Zone: 1st	
Manager: C.P.R. Bhattarai	1st Section Zone: 31.00	
	Plot No: 1st	
	Survey No: 1st	
	1st Section Zone: 19.00	
	2nd Section Zone: 19.00	
	3rd Section Zone: 19.00	
	4th Section Zone: 19.00	
	5th Section Zone: 19.00	
	6th Section Zone: 19.00	
	7th Section Zone: 19.00	
	8th Section Zone: 19.00	
	9th Section Zone: 19.00	
	10th Section Zone: 19.00	
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	97th Section Zone: 19.00	
	98th Section Zone: 19.00	
	99th Section Zone: 19.00	
	100th Section Zone: 19.00	

COLOR INDEX	
PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED CONSTRUCTION	
COMMON PLOT	
ROAD WIDENING AREA	
EXISTING (To be retained)	
EXISTING (To be demolished)	



SOUTH SIDE ELEVATION



SECTION A-A



SECTION B-B

Flare Name	Total Built Up Area (Sq.mt)	Proposed Net Built up Area (Sq.mt)	Add Area in Net Built Up Area (Sq.mt)	Total Net Built up Area (Sq.mt)	Dwelling Units (No)
		Roofs	Stair		
Ground Floor	887.71	887.71	0.00	887.71	07
First Floor	887.71	887.71	0.00	887.71	07
Second Floor	887.71	887.71	0.00	887.71	07
Third Floor	887.71	887.71	0.00	887.71	07
Fourth Floor	887.71	887.71	0.00	887.71	07
Terrace Floor	0.00	0.00	0.00	0.00	00
Total	4338.55	4338.55	12.50	4351.05	35
Total Number of Sample Buildings	1	1			
Total:	4338.55		12.50	4351.05	35

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK H)	D1	0.56	2.10	18
BLDG (BLOCK H)	D2	0.76	2.10	99
BLDG (BLOCK H)	D1	0.91	2.10	114
BLDG (BLOCK H)	QP	0.91	2.10	18
BLDG (BLOCK H)	MD	1.07	2.10	35

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK H)	V	0.76	1.00	66
BLDG (BLOCK H)	W2	1.21	2.10	15
BLDG (BLOCK H)	KW	1.22	1.20	33
BLDG (BLOCK H)	W2	1.23	2.10	15
BLDG (BLOCK H)	W2	1.37	1.20	33
BLDG (BLOCK H)	W2	1.38	2.10	18
BLDG (BLOCK H)	W2	1.41	2.10	18
BLDG (BLOCK H)	W	1.83	1.20	36
BLDG (BLOCK H)	W	1.83	1.37	81

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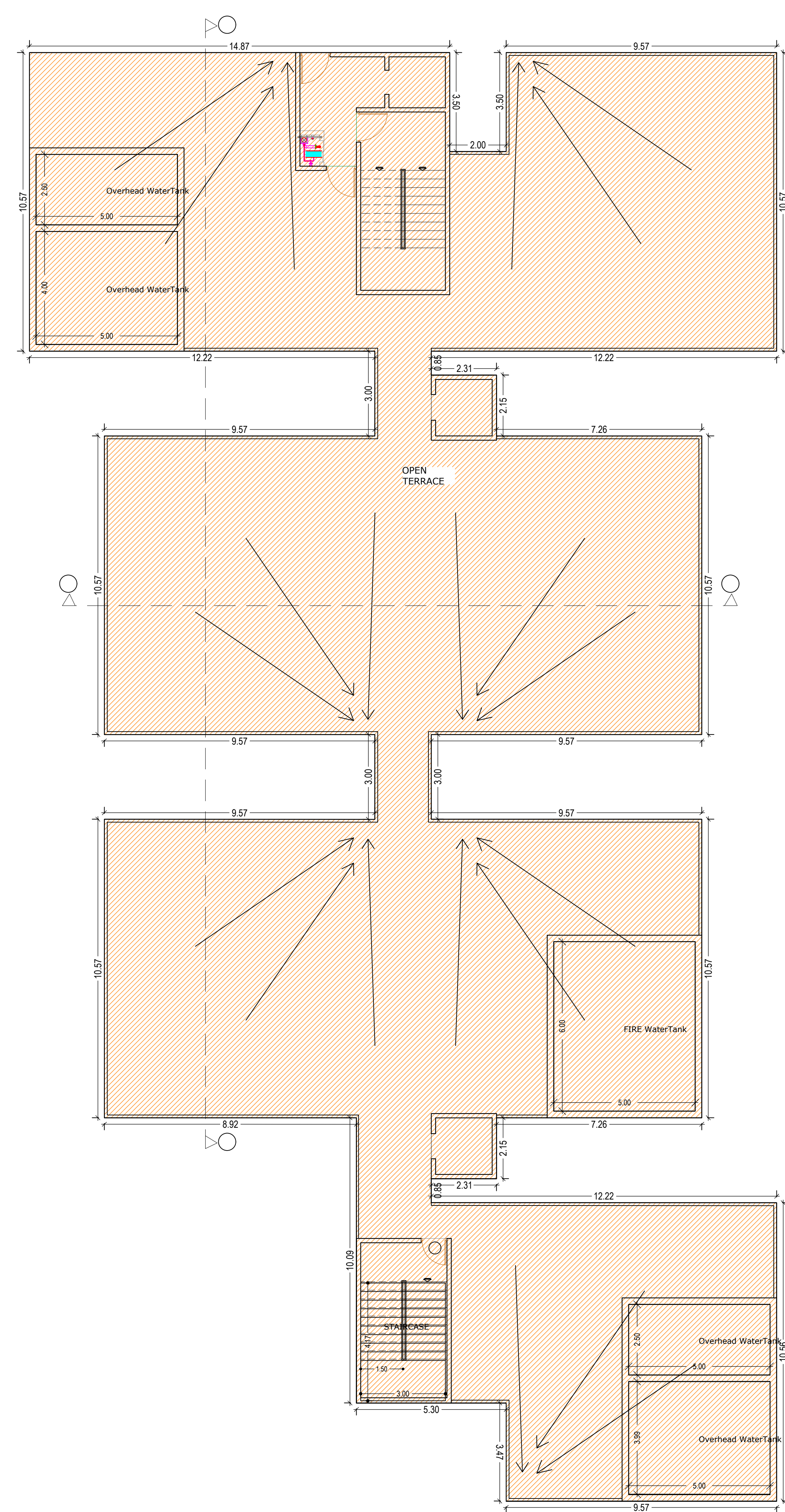
GROUND FLOOR PLAN
(Proposed)
(SCALE 1:100)



FIRST FLOOR PLAN
(Proposed)
(SCALE 1:100)



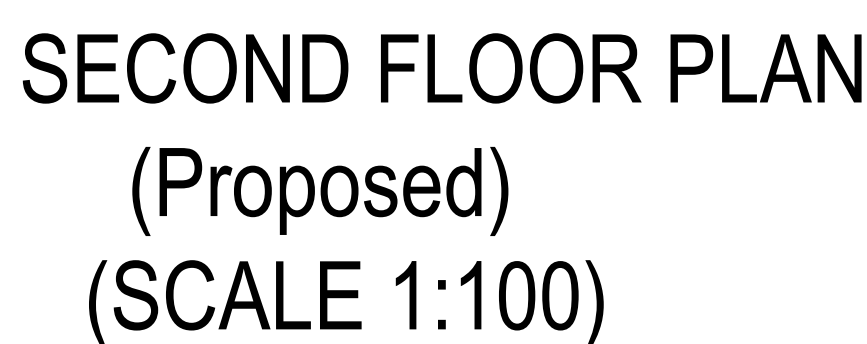
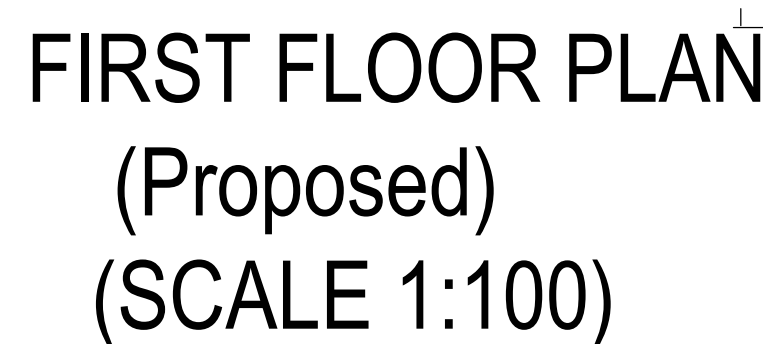
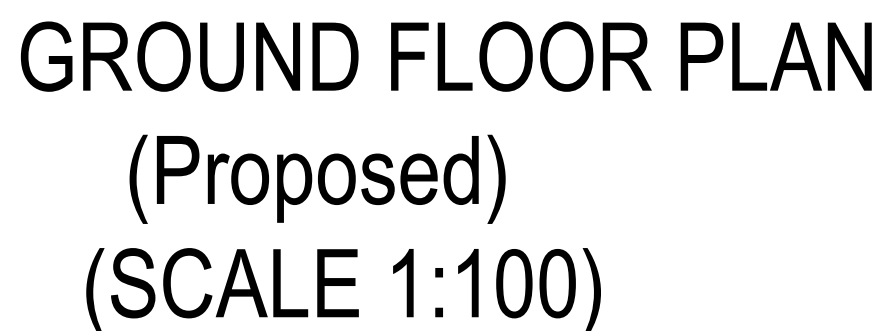
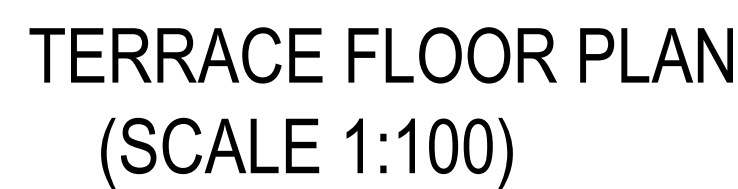
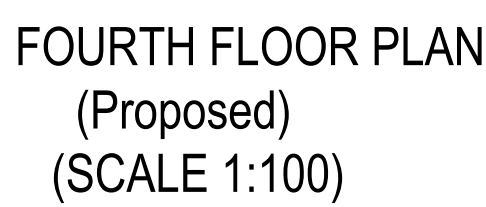
TYPICAL - 2, 3, 4 FLOOR PLAN
(Proposed)
(SCALE 1:100)



TERRACE FLOOR PLAN
(SCALE 1:100)

OWNER'S NAME AND SIGNATURE
BUILDER'S NAME AND SIGNATURE
ARCHITECT'S NAME AND SIGNATURE
STRUCTURAL ENGINEER'S NAME AND SIGNATURE

SO_full_bleed_2A0_(1189.00_x_1682.00_MM)



SCHEDULE OF JOINERY

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COLOR INDEX

Note: All dimensions are in meters

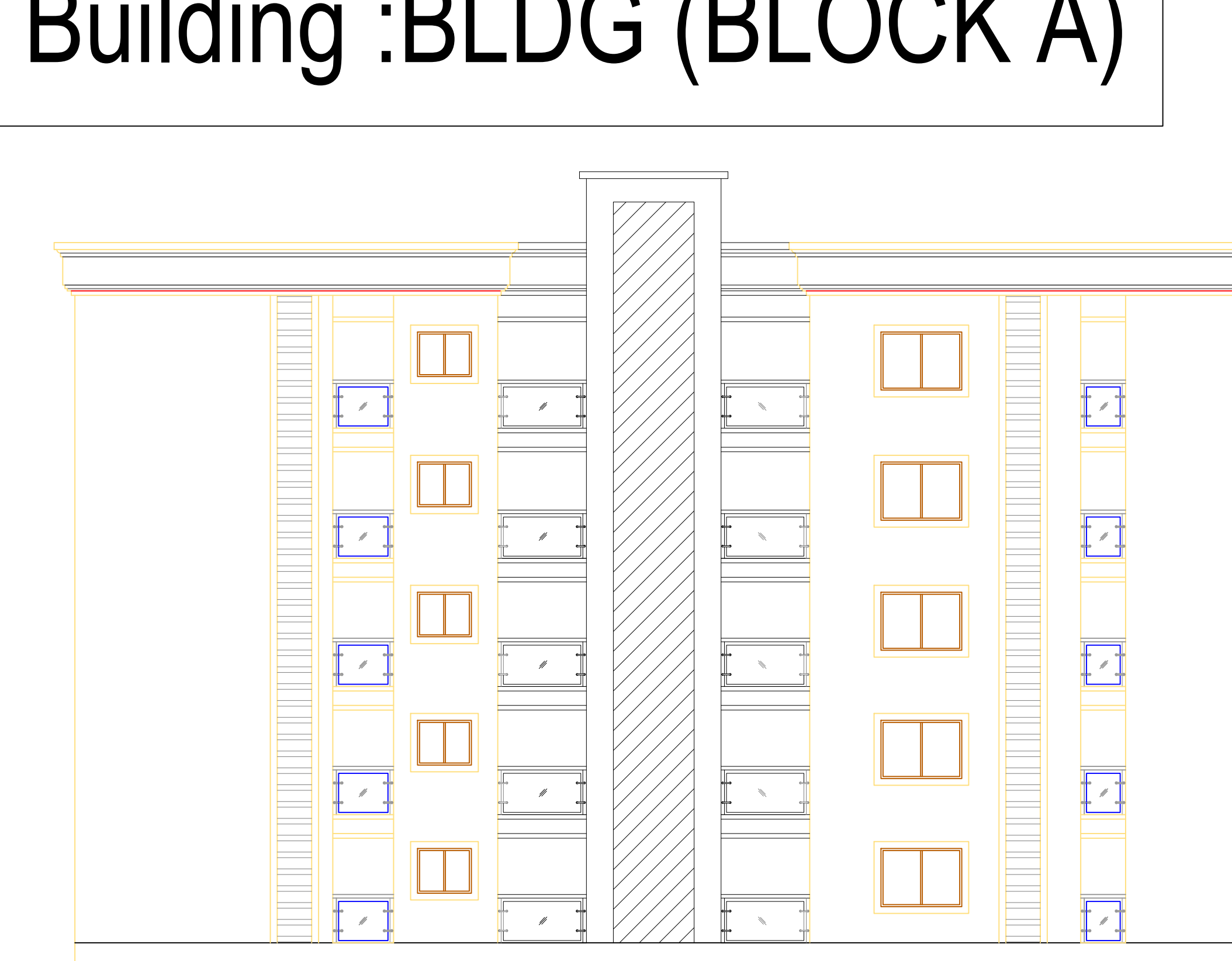
BOTH REPRESENTED BY ITS MANAGING PARTNER
SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

COLOR INDEX	
PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED CONSTRUCTION	
COMMON PLOT	
ROAD WIDENING AREA	
EXISTING (To be retained)	
EXISTING (To be demolished)	

Building Name	Bldg Use	Building Subcode	Building Type	Floor Details
BLDG (BLOCC D)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCC D)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCC B)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCC F)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCC G)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCC H)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (BLOCC E)	Residential	Residential Apartment Bldg	Single Block	1 Ground + 4 upper floors
BLDG (AMENITY BLOCK A)	Commercial	Shop	Single Block	1 Ground + 4 upper floors
BLDG (BLOCC A)	Residential	Residential Apartment Bldg	Single Block	2 Cellar + 1 Ground + 4 upper floors

Note: All dimensions are in meters

Building :BLDG (BLOCK A)



SOUTH SIDE ELEVATION



SECTION B-B



GROUND FLOOR PLAN
(Proposed)
(SCALE 1:100)

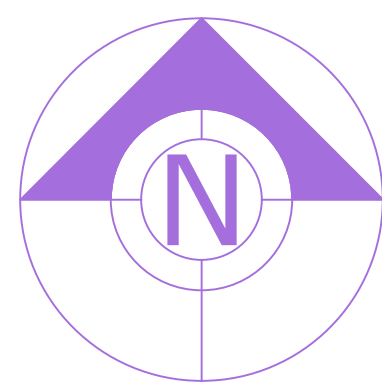


FIRST FLOOR PLAN
(Proposed)
(SCALE 1:100)

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP
HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE,
GHMC KAPRA CIRCLE, UPPAL MANDAL,MEDCHAL DISRTICT.

BELONGING TO:
M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER
SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

[illegible][illegible]

COLOR INDEX	
PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED CONSTRUCTION	
COMMON PLOT	
ROAD WIDENING AREA	
EXISTING (To be retained)	
EXISTING (To be demolished)	

[illegible]

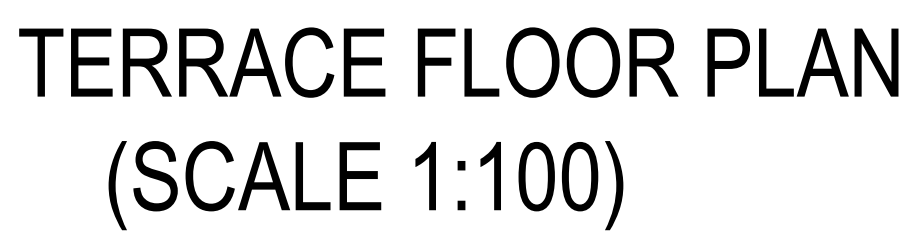
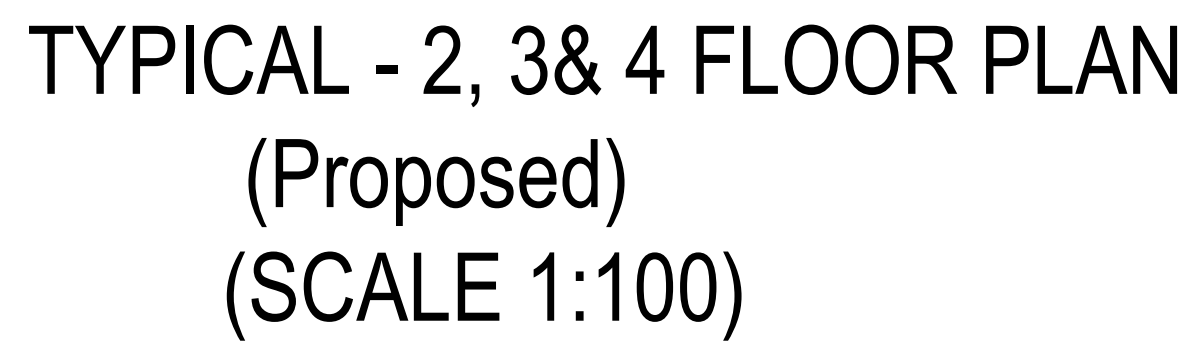
Floor Name	Total Built Up Area (Sq. m)	Deductions (Area Sq. m)			Proposed Net Built Up Area (Sq. m)	Add Area in Net Built Up Area (Sq. m)		Total Net Built Up Area (Sq. m)	Dwelling Units (No.)
		VSB	Accessory Use	Boat Ramp		Roof	Shelter		
Basement First Floor	0.00	325.00	0.00	609.98	0.00	138.95	97.73	166.68	00
Basement Second Floor	0.00	325.00	79.79	1018.46	0.00	170.27	61.34	234.62	00
Ground Floor	0.00	1117.43	0.00	0.00	1117.43	0.00	0.00	1117.43	00
First Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	2234.87	00
Second Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	3352.30	00
Third Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	4469.73	00
Fourth Floor	1117.43	0.00	0.00	0.00	1117.43	0.00	0.00	5587.16	00
Fifth Floor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	5587.16	00
Total	5587.15	650.00	79.79	1820.44	5587.15	309.22	117.07	6102.55	00
Total Number of Same Buildings	1	650.00	79.79	1820.44	5587.15	309.22	117.07	6102.55	40

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK A)	D1	0.63	2.10	25
BLDG (BLOCK A)	D2	0.76	2.10	123
BLDG (BLOCK A)	D1	0.91	2.10	139
BLDG (BLOCK A)	OP	0.91	2.10	25
BLDG (BLOCK A)	MD	1.07	2.10	45

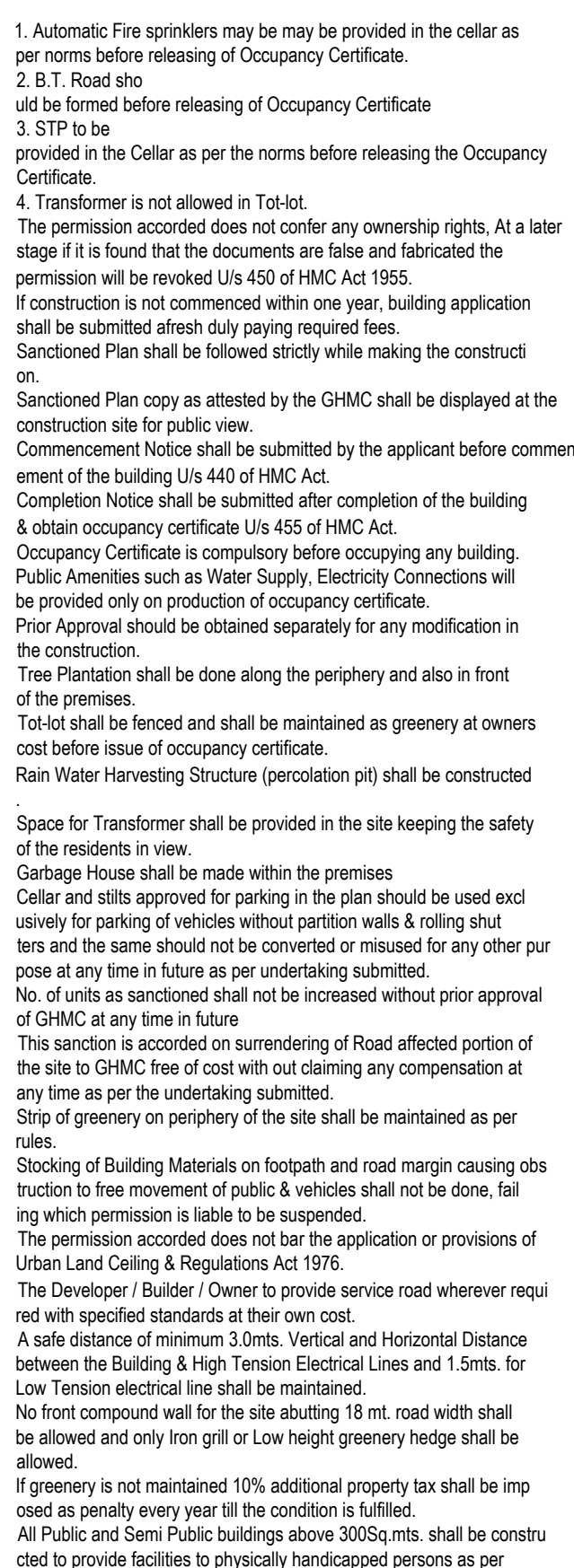
SCHEDULE OF JOINERY:				
BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK A)	V	0.76	1.00	82
BLDG (BLOCK A)	W2	1.21	2.10	16
BLDG (BLOCK A)	KW	1.22	1.20	41
BLDG (BLOCK A)	W2	1.23	2.10	16
BLDG (BLOCK A)	W2	1.32	2.10	25
BLDG (BLOCK A)	W2	1.37	1.20	41
BLDG (BLOCK A)	W2	1.41	2.10	25
BLDG (BLOCK A)	W	1.81	1.20	05
BLDG (BLOCK A)	W	1.83	1.20	45
BLDG (BLOCK A)	W	1.83	1.37	103

OWNER'S NAME AND SIGNATURE
BUILDER'S NAME AND SIGNATURE
ARCHITECT'S NAME AND SIGNATURE
STRUCTURAL ENGINEER'S NAME AND SIGNATURE

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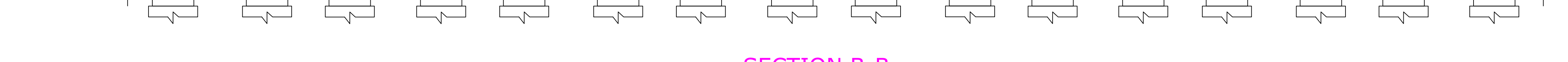
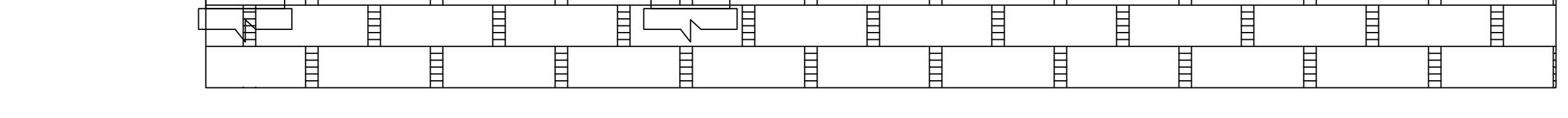
BOTH REPRESENTED BY ITS MANAGING PARTNER
SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA



COLOR INDEX	
PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED CONSTRUCTION	
COMMON PLOT	
ROAD WIDENING AREA	
EXISTING (To be retained)	
EXISTING (To be demolished)	

1. The *Journal of Management Education* is a peer-reviewed journal of management education. It is published by the American Association of Management Educators (AAME). The *Journal* is a required reading for all members of the Association.
2. The *Journal* is published quarterly, in January, May, September, and December. The January issue is the largest and contains the most articles. The May issue is the second largest and contains the most articles. The September and December issues are the smallest and contain the fewest articles.
3. The *Journal* is published by the American Association of Management Educators (AAME). The *Journal* is a required reading for all members of the Association.
4. The *Journal* is published quarterly, in January, May, September, and December. The January issue is the largest and contains the most articles. The May issue is the second largest and contains the most articles. The September and December issues are the smallest and contain the fewest articles.
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Note: All dimensions are in meters



SCHEDULE OF JOINERY:

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
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BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLOG (BLOK B)	V	0.76	1.20	72
BLOG (BLOK B)	W	0.76	1.20	36
BLOG (BLOK B)	W	1.10	2.50	03
BLOG (BLOK B)	W	1.22	1.20	36
BLOG (BLOK B)	W	1.37	1.20	36
BLOG (BLOK B)	W	1.43	1.20	05
BLOG (BLOK B)	W	1.83	1.20	113
BLOG (BLOK B)	W	1.91	2.50	03
BLOG (BLOK B)	w	2.00	2.00	10
BLOG (BLOK B)	W	2.36	1.20	10
BLOG (BLOK B)	W	2.59	1.20	36
BLOG (BLOK B)	W	3.06	1.20	05

The diagram shows a rectangular domain with a dashed vertical line. Two arrows originate from the bottom left, pointing towards the top right corner. The vertical height of the domain is labeled as 3.51.

The second floor plan shows a large central hall (HALL) with a staircase (STAIRS) and a large room (LARGE ROOM). There are several smaller rooms, including a room labeled 'ROOM' and a room labeled 'ROOM'. A corridor (CORRIDOR) runs along the right side of the floor. The plan also shows a large room (LARGE ROOM) and a room labeled 'ROOM'. A staircase (STAIRS) is located near the center of the floor. The plan is divided into several sections by walls and doors.

RRACE FLOOR PLAN (SCALE 1:100)

[illegible]

and end year
 building
 required data value
 by 7.5, 0.6 m. Capacity
 its search by Presidential building

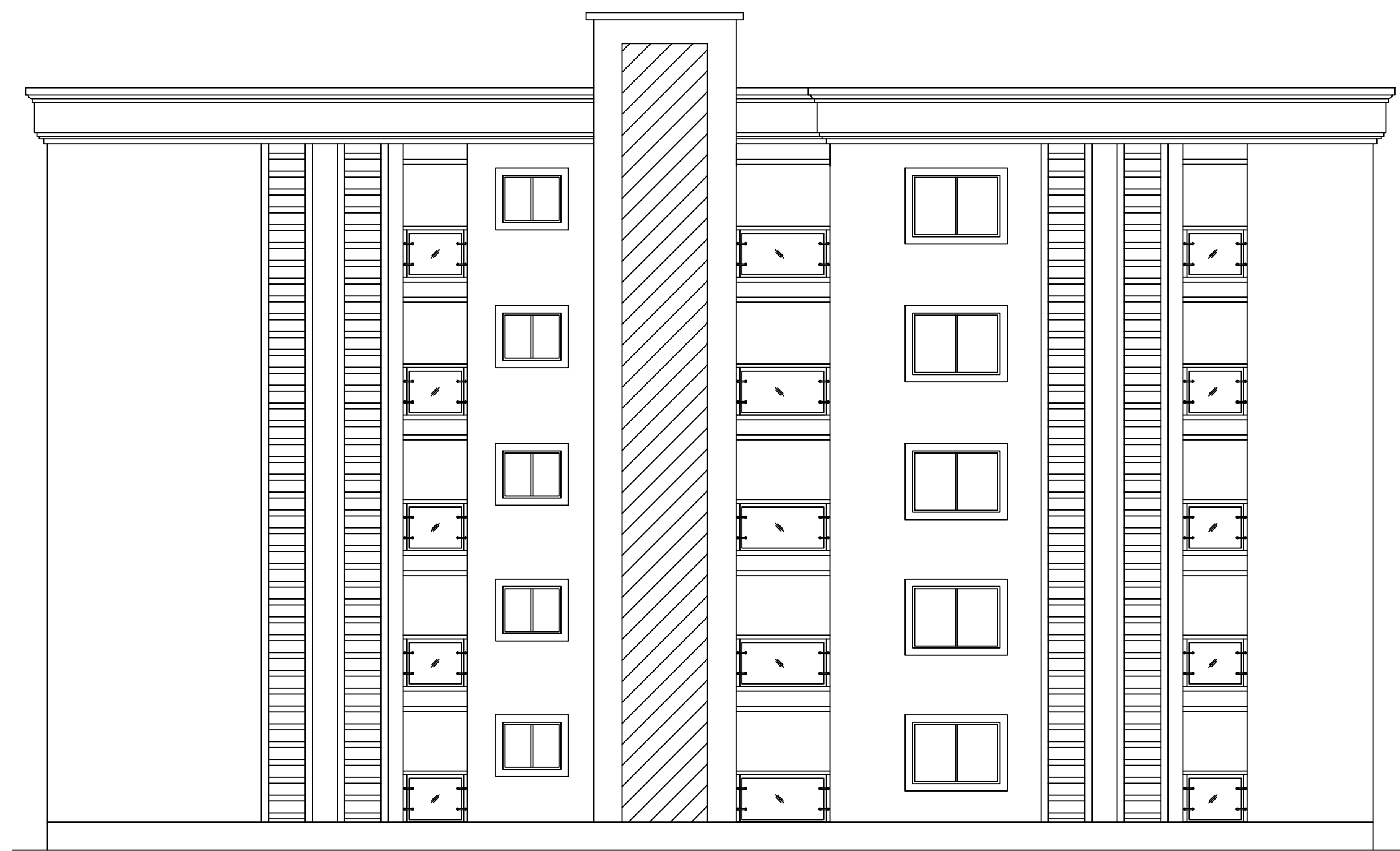
that be published with
and contributions.

	BUILDER'S NAME AND SIGNATURE

	STRUCTURAL ENGINEER'S NAME AND SIGNATURE

Note: All dimensions are in meters.

Building :BLDG (BLOCK C)



SOUTH SIDE ELEVATION



SECTION A-A



SECTION B-B

PLAN SHOWING THE PROPOSED MULTI STORIED GROUP
HOUSING SCHEME IN SY.NO. 19 OF MALLAPUR VILLAGE,
GHMC KAPRA CIRCLE, UPPAL MANDAL,MEDCHAL DISRTICT.

BELONGING TO:
M/S. GULMOHAR RESIDENCY & JADE ESTATES.

BOTH REPRESENTED BY ITS MANAGING PARTNER
SRI. SUDHIR U. MEHTA S/O. LATE. UTTAMLAL MEHTA

Floor Name	Total Built Up Area (Sq.mt)	Proposed Net Built Up Area (Sq.mt) Res.	Total Net Built Up Area (Sq.mt)	Dwelling Units (No)
Ground Floor	1044.73	1044.73	1044.73	07
First Floor	1044.73	1044.73	1044.73	07
Second Floor	1044.73	1044.73	1044.73	07
Third Floor	1044.73	1044.73	1044.73	07
Fourth Floor	1044.73	1044.73	1044.73	07
Terrace Floor	0.00	0.00	95.56	00
Total	5223.65	5223.65	5319.70	35
Total Number of Same Buildings:	1			
Total :	5223.65	5223.65	5319.70	35

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK C)	D	0.67	2.10	29
BLDG (BLOCK C)	D	0.76	2.10	116
BLDG (BLOCK C)	D	0.91	2.10	116
BLDG (BLOCK C)	MD	1.07	2.10	35
BLDG (BLOCK C)	D	1.32	2.10	29

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK C)	V	0.76	1.20	58
BLDG (BLOCK C)	W	0.76	1.20	29
BLDG (BLOCK C)	W	1.18	2.60	05
BLDG (BLOCK C)	W	1.22	1.20	29
BLDG (BLOCK C)	W	1.37	1.20	29
BLDG (BLOCK C)	W	1.43	1.20	03
BLDG (BLOCK C)	W	1.83	1.20	90
BLDG (BLOCK C)	W	2.36	1.20	13
BLDG (BLOCK C)	W	2.40	1.20	03
BLDG (BLOCK C)	w	2.40	2.00	04
BLDG (BLOCK C)	W	2.56	1.20	29
BLDG (BLOCK C)	w	2.57	2.00	01

[illegible]

AREA PROJECT DETAIL		
Parcel No.: 07-000007017	Plot Use - Residential	
Project Type - Building Permits	Plot Subuse - Res/Cmn Bldg	
Name of Development - None	County Name - Hamilton County District	
Evaluation - New Areas / Approved Layout Areas	Land Use Zone - Residential	
Village Name - L'Arche, Main Road	Land Sub Use Zone - Residential	
Map Scale - 1"=10'	Awaying Street Width - 30.0	
	PLOT NO - NA	
	Section - 19	
	North side details - Vacant Land	
	South side details - ROAD WIDTH = 30	
	East side details - Other - HWY CORRIDOR	
	West side details - Vacant Land	
AREA DETAILS		SQ. MT.
AREAS OF PLOT (Acreage)	(A)	
Deduction for Neighb Area		
Plot Affected Area - Road/Watering Area		9627.05
Total		9627.05
NET AREA OF PLOT	(A) Deductions	22749.49
Plot Affected Area		9627.05
Area(s) Area		
Total		11820.50
BALANCE AREA OF PLOT	(A) Deductions	20518.16
Assessable Area		14.06
Vacant Area		1425.50
COVERAGE		6504.42
Proposed Coverage Area (27.31 %)		
Net BULL		40697.59
Residential Net BULL		20658.91
Commercial Net BULL		
BULL-T-A-PLOT		24204.75
		42475.18
MORTGAGE AREA		5238.38
CERTIFY INDEMNITY MORTGAGE AREA		481
Proposed Number of Parkings		

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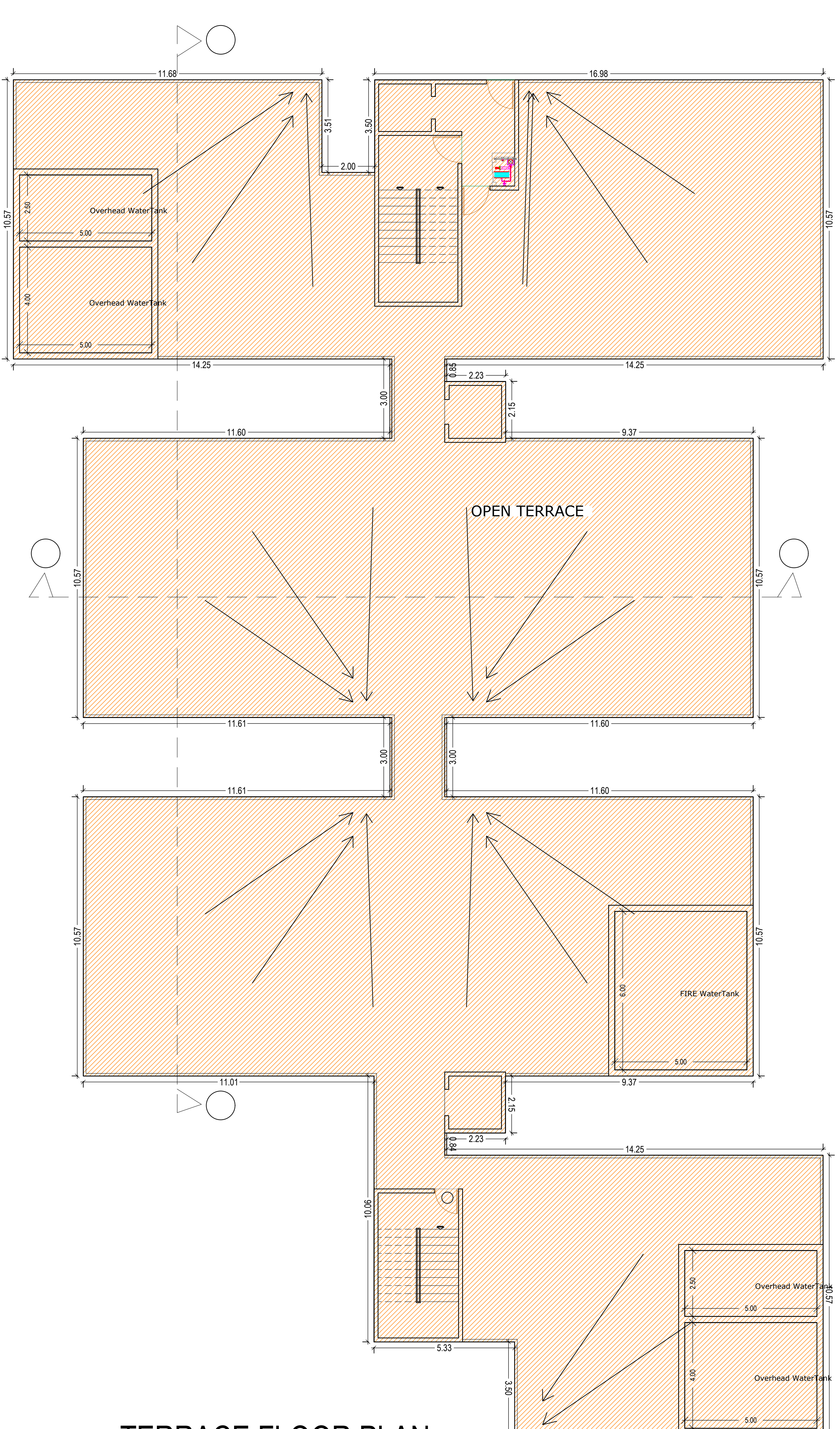
GROUND FLOOR PLAN
(Proposed)
(SCALE 1:100)



FIRST FLOOR PLAN
(Proposed)
(SCALE 1:100)



TYPICAL - 2, 3, 4 FLOOR PLAN
(Proposed)
(SCALE 1:100)



TERRACE FLOOR PLAN
(SCALE 1:100)

Note: All dimensions are in meters

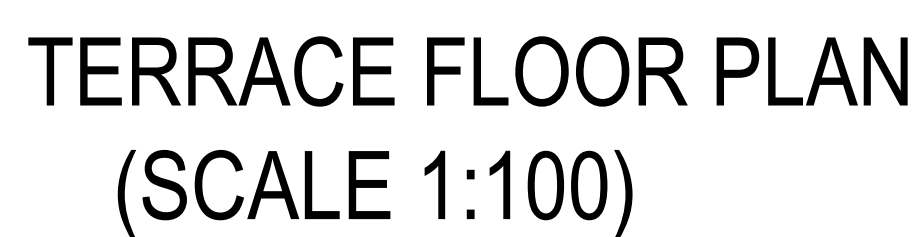
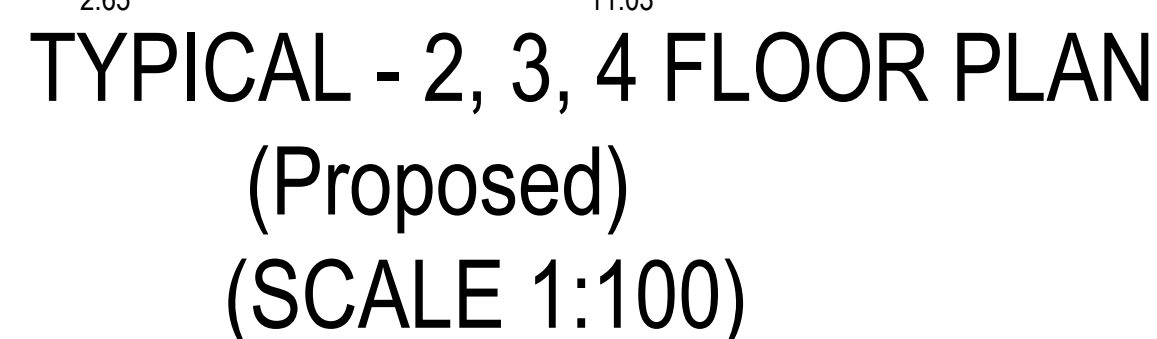
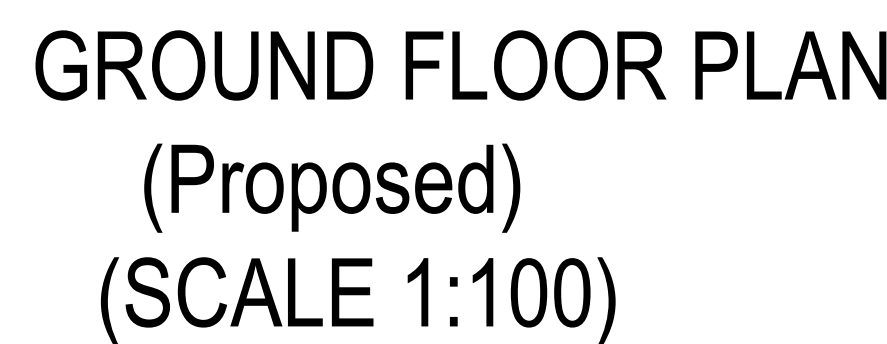
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BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
BLDG (BLOCK E)	D	0.67	2.10	35
BLDG (BLOCK E)	D	0.76	2.10	140
BLDG (BLOCK E)	D	0.81	2.10	140
BLDG (BLOCK E)	MD	1.07	2.10	35
BLDG (BLOCK E)	D	1.32	2.10	35

[illegible]

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